

# CHRISTIAN BROTHERS AUTOMOTIVE AUTOMOTIVE SERVICE CENTER

15260 W BELOIT RD, NEW BERLIN, WI 53151

ISSUED FOR: SITE PLAN REVIEW

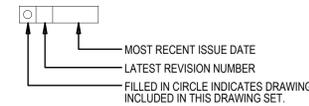
DATE: 06/27/2025



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## DRAWING LIST LEGEND



## PROJECT DIRECTORY

**DEVELOPER | APPLICANT**  
 CHRISTIAN BROTHERS AUTOMOTIVE  
 ATTN: BILLY GREEN, JR.  
 17725 KATY FREEWAY, SUITE 200  
 HOUSTON, TX 77094  
 PHONE: (281) 675-6192  
 EMAIL: BILLY.GREEN@CBAC.COM

**DESIGN FIRM**  
 PROGRESSIVE COMPANIES  
 ATTN: JOSH MANION  
 1811 4 MILE ROAD NE  
 GRAND RAPIDS, MI 49525  
 PHONE: (616) 447-3455  
 EMAIL: JMANION@WEAREPROGRESSIVE.COM

**PROPERTY OWNER**  
 NB SQUARED LLC  
 ATTN: NICK BOERKE  
 10936 N PORT WASHINGTON RD, PMB 177  
 MEQUON, WI 53092

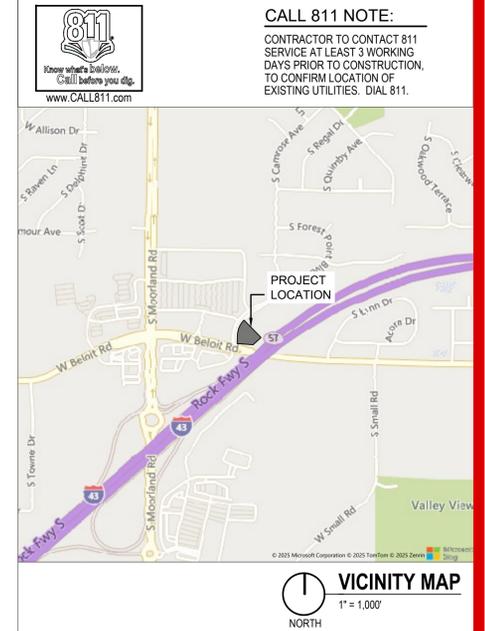
## PROJECT CONTACTS

**WATER & SANITARY SEWER**  
 CITY OF NEW BERLIN UTILITY DEPARTMENT  
 ATTN: ALEX PARKER  
 4000 S CASPER DRIVE  
 NEW BERLIN, WI 53151  
 PHONE: (262) 786-7086  
 EMAIL: NBUTILITIES@NEWBERLIN.ORG

**GAS & ELECTRIC**  
 WE ENERGIES  
 ATTN: JESSICA WOZNAK  
 PO BOX 2046  
 MILWAUKEE, WI 53201  
 PHONE: (262) 574-3049  
 EMAIL: JESSICA.WOZNAK@WE-ENERGIES.COM

**STORMWATER**  
 NEW BERLIN ENGINEERING DIVISION  
 ATTN: NICOLE HEWITT  
 3805 S. CASPER DRIVE  
 NEW BERLIN, WI 53151  
 PHONE: (262) 797-2445 EXT. 2552  
 EMAIL: NHEWITT@NEWBERLIN.ORG

**BUILDING DEPARTMENT**  
 NEW BERLIN PLANNING AND DEVELOPMENT  
 ATTN: NIKKI JONES  
 3805 S. CASPER DRIVE  
 NEW BERLIN, WI 53151  
 PHONE: (262) 797-2445 EXT. 2503  
 EMAIL: NJONES@NEWBERLIN.ORG



## ZONING NOTES:

PARCEL SIZE: ± 1.16 ACRES  
 PROPOSED IMPERVIOUS: ± 30,000 SFT

ZONE DISTRICT: B-1 SHOPPING CENTER

ADJACENT ZONING:  
 NORTH: B-1 SHOPPING CENTER  
 SOUTH: O-2 BUSINESS PARK DEVELOPMENT  
 EAST: RM-1 MULTIFAMILY RESIDENTIAL  
 WEST: B-1 SHOPPING CENTER

**BUILDING SETBACKS:**  
 W BELOIT ROAD: 50 FEET  
 S FOREST POINT BLVD: 37.5 FEET  
 SIDE YARD: 25 FEET  
 REAR YARD: 25 FEET

**PARKING SETBACKS:**  
 W BELOIT ROAD: 5 FEET  
 S FOREST POINT BLVD: 10 FEET

**REQUIRED PARKING:**  
 1 SPACE PER 200 SQUARE FEET OF SALES, OFFICE OR WAITING AREA, PLUS 2 SPACES PER SERVICE BAY. CANNOT PROVIDE MORE THAN 15% ABOVE THE REQUIRED AMOUNT OF PARKING UNLESS THE APPLICANT CAN PROVE ADDITIONAL PARKING IS NEEDED.

OFFICE:  
 1,000 SFT X 1/200 SFT = 5 SPACES

SERVICE BAYS:  
 10 BAYS X 2/BAY = 20 SPACES

MINIMUM PARKING = 25 SPACES  
 MAXIMUM PARKING = 29 SPACES

PARKING PROVIDED:  
 STANDARD (9'X18') = 35 SPACES  
 BARRIER FREE: 2 SPACES  
 TOTAL SPACES: 37 SPACES



# ALTA/NSPS LAND TITLE SURVEY

CHAPUT LAND SURVEYS

### TABLE "A" ITEMS

3. According to the flood insurance rate map of the County of Waukesha, Community Panel No.55133C0353H, effective date of October 19, 2023, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
4. The Land Area of the subject property is 50,689 square feet or 1.1637 acres.
- 6(a)(b). A zoning report has not been provided.
- 11(a). No plans or reports provided by client.
- 11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20251505521 & 20251505525. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
16. There is no visible evidence of earth moving, building construction or building additions within recent months.
18. There are offsite easements or servitudes benefiting the surveyed property disclosed in the furnished Title Commitment.
- 20(b). Engineering design topography and utility survey: Vertical datum, elevations with 1 foot contour intervals and spot elevations on paved surfaces. Sewer lines will be depicted by location and depths where accessible without confined entry safety procedures and where traffic lanes do not pose a safety hazard accessing sewer data. Pipe sizes will be shown from plans, if available. Watermain and water services will be depicted from surface evidence and available plans. The limits of topography will extend to the centerline of the adjacent streets and 25' onto adjacent properties unless otherwise agreed upon.

### CLIENT

Christian Brothers Automotive Corporation

### SITE ADDRESS

15260 West Beloit Road, City of New Berlin, Waukesha County, State of Wisconsin

### LEGAL DESCRIPTION

Parcel 2 of CERTIFIED SURVEY MAP NO. 2546 recorded in the office of the register of deeds for Waukesha County, Wisconsin on April 22, 1976, in Volume 18 of Certified Survey Maps, Page 262-265, as Document No. 947411, said certified survey map being a part of the Northwest 1/4 of Section 26, Town 6 North, Range 20 East, City of New Berlin, County of Waukesha, State of Wisconsin.

EXCEPT that part taken in the Award of Compensation, recorded April 22, 1999, in Reel 2886, Image 283, as Document No. 2453414.

### BASIS OF BEARINGS

Bearings are referenced to the Wisconsin State Plane Coordinate System, South Zone, NAD83 (2011), in which the West line of the NW 1/4 of Section 26, T6N, R20E bears S01°36'54"E.

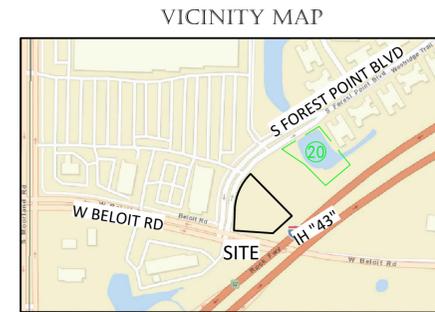
### VERTICAL DATUM

Elevations are referenced to NAVD88 with a site benchmark being a chiseled cross in a concrete transformer pad having an elevation of 886.88.

### TITLE COMMITMENT

This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1253682-HOU1, effective date of March 3, 2025 which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3, 5, 9, 21, & 23, visible evidence shown, if any.
- 4, 6, 7, 8, 22, 24, & 25 not survey related.
10. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 2546, recorded on April 22, 1976, in Volume 18 of certified survey maps, Page 262 to 265 as Document No. 947411 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. **Affects property by location, shown.**
11. Utility Easement to The Milwaukee Electric Railway and Light Company, dated December 10, 1936, recorded/ filed January 20, 1937, as Document No. 212198. **Does not affect property by location, not shown.**
12. Utility Easement to The Milwaukee Electric Railway and Light Company, dated January 13, 1938, recorded/ filed February 25, 1938, as Document No. 219098. **Does not affect property by location, not shown.**
13. Access Restrictions as set forth in Indenture recorded July 7, 1966 in Volume 1054, Page 486 as Document No. 665722. **Does not affect property by location, not shown.**
14. Access Restrictions as set forth in Indenture recorded July 21, 1966 in Volume 1055, Page 679 as Document No. 666787. **Affects property by location, shown.**
15. Access Restrictions as set forth in Award of Damages recorded December 27, 1966 in Volume 1070, Page 487 as Document No. 676062. **Affects property by location, shown.**
16. Easement Agreement, made between Charles Kalashian and Marienne Kalashian, husband and wife and the City of New Berlin, a municipality of the State of Wisconsin, recorded September 22, 1999 in Reel 2983, Image 0506 as Document No. 2504887. **Does not affect property by location, released.**
17. Vehicular Access Easement Agreement, recorded April 28, 2000 as Document No. 2556186. **Does not affect property by location, not shown.**
18. Utility Easement to Wisconsin Electric Power Company and Wisconsin Bell, Inc., d/b/a Ameritech-Wisconsin, dated September 07, 2000, recorded/ filed October 24, 2000, as Document No. 2600193. **Affects property by location, shown.**
19. Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of Transportation Project Plat No: 1090-17-20-4.05, as recorded in Volume 1, Transportation Project Plat Page 5, as Document No. 3317659 on September 16, 2005, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). **Affects property by location, shown.**
20. Non-exclusive easements for Ingress and Egress and Storm Water Pond Easement, for the benefit of Parcel 1, as set forth in Agreement and Declaration of Easements, Conditions, and Restrictions, recorded November 25, 2019, as Document No. 4437933 **Affects and benefits property by location, shown. (see vicinity map)**



### LEGEND OF SYMBOLS & ABBREVIATIONS

⊙	SANITARY MANHOLE	⊙	FIBER OPTIC MARKER	⊙	SIGN
⊙	STORM MANHOLE	⊙	FIBER OPTIC MANHOLE/VAULT	⊙	MAIL BOX
⊙	CLEANOUT	⊙	TELEPHONE PEDESTAL	⊙	FLAG POLE
⊙	CURB INLET	⊙	TELEPHONE MANHOLE/VAULT	⊙	BOLLARD
⊙	STORM INLET	⊙	TELEPHONE MARKER	⊙	CROSS CUT
⊙	CATCH BASIN	⊙	TRANSFORMER	⊙	IRON PIPE
⊙	LATERAL	⊙	ELECTRIC METER/PEDESTAL	⊙	IRON REBAR/ROD
⊙	UNKNOWN MANHOLE	⊙	ELECTRIC MANHOLE/VAULT	⊙	MAG NAIL
⊙	WELL	⊙	CABLE TV RISER/BOX CABLE	⊙	SECTION MONUMENT
⊙	HYDRANT	⊙	TV MANHOLE/VAULT	⊙	BENCH MARK
⊙	WATER VALVE	⊙	GAS VALVE	⊙	CONIFER TREE
⊙	DOWN SPOUT	⊙	GAS METER	⊙	DECIDUOUS TREE
⊙	SPRINKLER VALVE	⊙	GAS MARKER	⊙	BUSH
⊙	WATER SHUT OFF	⊙	AIR CONDITIONING UNIT	⊙	WETLAND SYMBOL
⊙	STANDPIPE	⊙	VENT	⊙	DIRECTIONAL ARROW
⊙	WATER MANHOLE	⊙	UTILITY POLE	⊙	SPOT ELEVATION
⊙	FLOOD LIGHT	⊙	GUY WIRE	⊙	HANDICAP STALL
⊙	LIGHT POLE	⊙	TRAFFIC SIGNAL POLE	⊙	DUMPSTER
⊙	SANITARY SEWER	⊙	SANITARY SEWER PER PLAN	⊙	CL. =CENTERLINE
⊙	STORM SEWER	⊙	STORM SEWER PER PLAN	⊙	CONC. =CONCRETE
⊙	WATER MAIN	⊙	WATER MAIN PER PLAN	⊙	EL. =ELEVATION
⊙	FIBER OPTIC LINE	⊙	FIBER OPTIC PER PLAN	⊙	EXT. =EXISTING
⊙	TELEPHONE LINE	⊙	TELEPHONE PER PLAN	⊙	INV. =INVERT
⊙	ELECTRIC LINE	⊙	ELECTRIC LINE PER PLAN	⊙	MON. =MONUMENT
⊙	CABLE TELEVISION	⊙	CABLE TELEVISION PER PLAN	⊙	P.O.B. =POINT OF BEGINNING
⊙	GAS MAIN	⊙	GAS MAIN PER PLAN	⊙	P.O.C. =POINT OF COMMENCEMENT
⊙	TRAFFIC CONDUIT PER PLAN	⊙	TRAFFIC CONDUIT PER PLAN	⊙	R.O.W. =RIGHT OF WAY
⊙	TREE LINE	⊙	TREE LINE	⊙	SEC. =SECTION
⊙	NO ACCESS	⊙	NO ACCESS	⊙	SQ. FT. =SQUARE FEET
⊙		⊙		⊙	W/ =WITH
⊙		⊙		⊙	(R) =RECORDED AS
⊙		⊙		⊙	(D) =DEEDED AS
⊙		⊙		⊙	⊙ =RIP-RAP

To: Christian Brothers Automotive Corporation, a Texas corporation  
First American Title Insurance Company

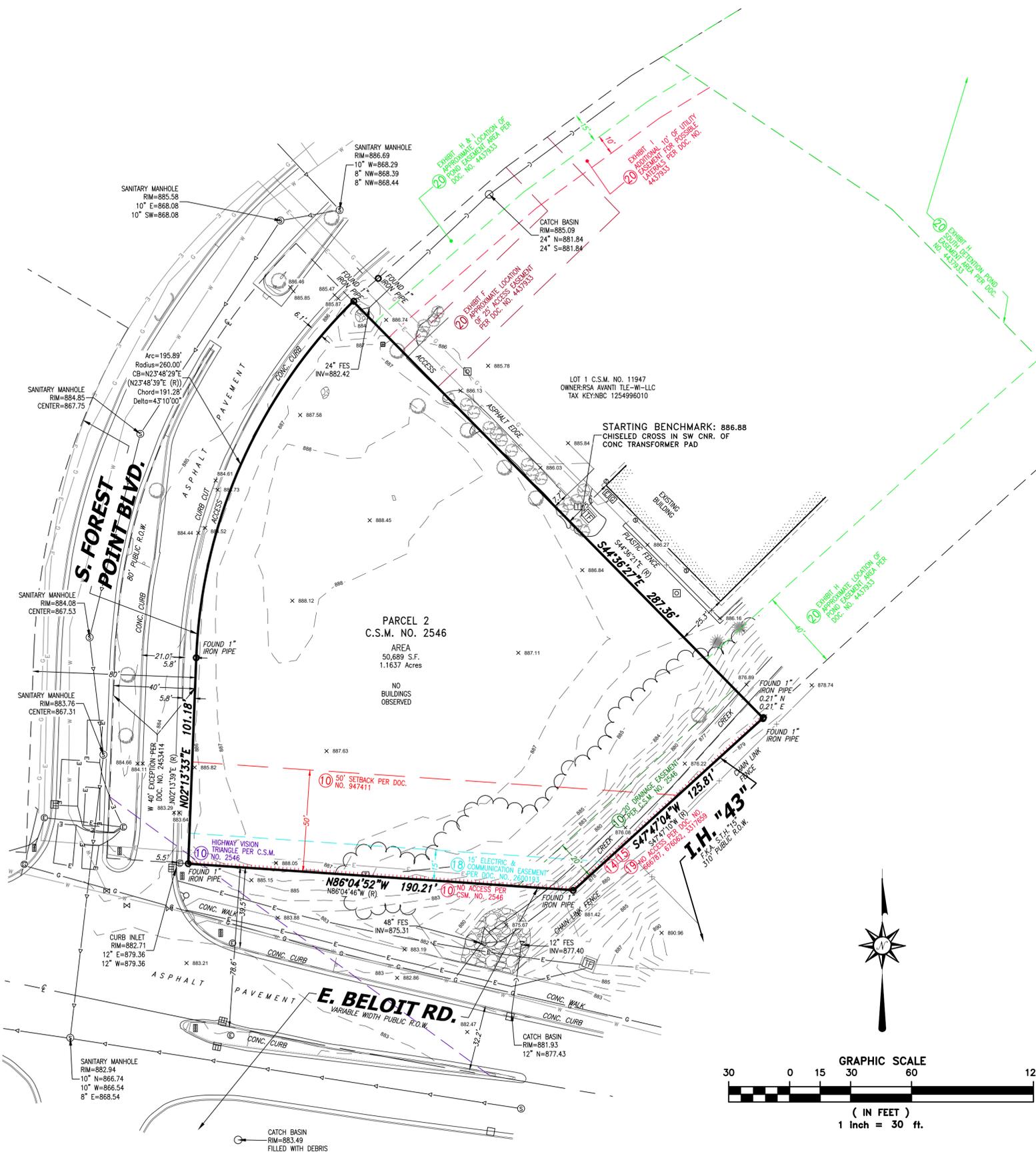
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 11(a), 11(b), 16, 18, 19, and 20(b) of Table A thereof. The field work was completed on April 17, 2025.

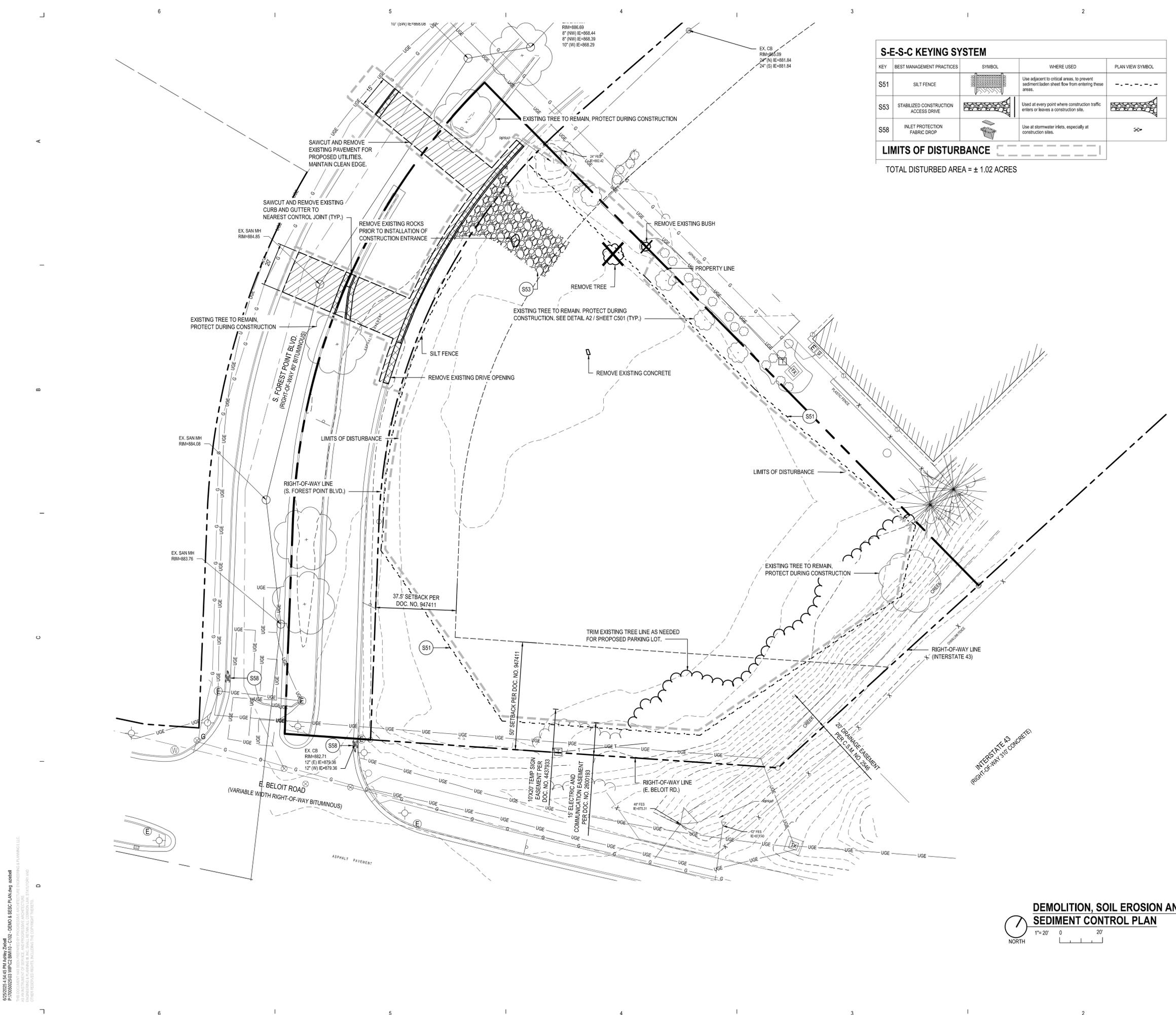
Date of Map: April 30, 2025

**DRAFT**  
John P. Konopacki  
Professional Land Surveyor  
Registration Number S-2461

Date	Revision description	jm
2025/06/06	Addressed Comments	

This document is an instrument of professional service, and may be protected by the surveyors work product doctrine or surveyor's client privileges. The information shown hereon is intended solely for the use of the client and client directed third parties. Chaput Land Surveys is a division of Pinnacle Engineering Group.  
DRAFTED BY: jwd Drawing No. 6469.00



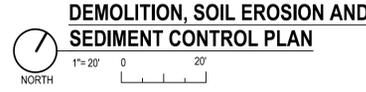


### S-E-S-C KEYING SYSTEM

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED	PLAN VIEW SYMBOL
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.	
S53	STABILIZED CONSTRUCTION ACCESS DRIVE		Used at every point where construction traffic enters or leaves a construction site.	
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.	

**LIMITS OF DISTURBANCE**

TOTAL DISTURBED AREA = ± 1.02 ACRES



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

- ### SITE CLEARING AND DEMOLITION NOTES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE DEMOLITION AND CLEARING REQUIREMENTS.
  - NO REMOVAL, DEMOLITION, CLEARING OR TOPSOIL REMOVAL SHALL OCCUR ON SITE UNTIL THE SESC AND STORMWATER PERMITS HAVE BEEN ISSUED AND THE CONTRACTOR HAS VERIFIED AND STAKED THE LIMITS OF REMOVAL IN THE FIELD. NOTIFY SITE CONSULTANT OF THE START OF CONSTRUCTION AND DATE WHEN THE LIMITS LINE WILL BE ESTABLISHED FOR REVIEW AND APPROVAL.
  - ALL MATERIALS NOTED TO BE SALVAGED SHALL BE TURNED OVER TO THE OWNER OR REINSTALLED ON SITE AS NOTED.
  - NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL SHALL BE ALLOWED ON SITE.
  - REMOVE ALL STRUCTURES, FOUNDATIONS, BITUMINOUS PAVEMENT, CONCRETE SIDEWALK STEPS AND OTHER EXISTING SITE FEATURES AS INDICATED ON THE DRAWINGS. ALSO, REMOVE ALL DEBRIS FROM WITHIN CONSTRUCTION LIMITS ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND, UNLESS OTHERWISE NOTED, DISPOSED OF IN A MANNER ACCEPTABLE TO LOCAL JURISDICTION HAVING AUTHORITY.
  - THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF WISCONSIN FOR DEMOLITION REMOVAL AND HAULING OF MATERIALS.
  - THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND FEES FOR THIS WORK.
  - EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
  - ALL EXCESS OR UNSUITABLE TOPSOIL OR SUBSOIL TO BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED OFFSITE.
  - PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN ON PLAN.
  - TREE PROTECTION FENCE - ORANGE SAFETY FENCE AROUND TREES SUPPORTED BY STEEL T-BAR FENCE POSTS. ZIP TIE FABRIC TO POSTS. INSTALL PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.
  - CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
  - CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION.
  - ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN. PATCH PAVEMENT IN-KIND IF REQUIRED.
  - ALL GROUND AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED.

### DEMOLITION LEGEND

	BITUMINOUS PAVEMENT REMOVAL
	CONCRETE REMOVAL
	TREE REMOVAL

ALL ITEMS IN BOLD TO BE REMOVED UNLESS OTHERWISE NOTED.

- ### EROSION CONTROL NOTES
- INSTALL EROSION CONTROL MEASURES AT THE LIMITS OF EARTHWORK PRIOR TO THE START OF ANY EARTHWORK OPERATIONS. ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED IN CONJUNCTION WITH THE CONSTRUCTION SCHEDULE AND SEQUENCE AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
  - MAINTAIN ALL EROSION CONTROL INSTALLATIONS DURING THE COURSE OF CONSTRUCTION. MAKE INSPECTIONS AFTER EACH STORM EVENT AND REPAIR OR REPLACE ANY DAMAGE. REMOVE ACCUMULATED SEDIMENT FROM SEDIMENT BASINS TO MAINTAIN EFFECTIVENESS OF EROSION CONTROL INSTALLATIONS. REPAIR ANY ERODED AREAS ON SLOPES OR NEAR SILT FENCE. REGRADE AND RESEED ANY TEMPORARY SEEDED AREAS AS NECESSARY TO PREVENT EROSION.
  - THE EROSION CONTROL MEASURES INDICATED ON THIS PLAN ARE BASED ON "THE WISCONSIN SOIL EROSION & SEDIMENT CONTROL FIELD GUIDE". THE SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AND MAINTAINED PER PLANS AND SPECIFICATIONS.
  - KEEP PUBLIC ROADWAYS CLEAR OF ACCUMULATED SEDIMENT. SEDIMENTS SHALL BE REMOVED IMMEDIATELY UPON ENTERING PUBLIC ROADWAYS AND SHALL BE RETURNED TO THE LIKELY POINT OF ORIGIN. SEDIMENTS SHALL NOT BE FLUSHED OR WASHED FROM THE AREA WITH WATER.
  - SILTSACK MANUFACTURED BY CSI GEOTURF OR HANES GEO PRODUCTS OR APPROVED EQUAL SHALL BE USED FOR STORM INLET PROTECTION ITEM S58 (SEE SESC KEYING SYSTEM LEGEND).
  - CONTRACTOR SHALL INSTALL AND MAINTAIN SILT FENCE AROUND ALL SUBSOIL SPOIL AND TOPSOIL STOCKPILE AREAS. ALL SOIL PILES SHALL BE SEEDED WITH APPROVED SEED MIXTURES AND BE LOCATED AWAY FROM ANY DOWNSLOPE STREET, DRIVEWAY, DITCH OR DRAINAGE WAY.
  - REMOVE TEMPORARY CONTROL MEASURES AS FOLLOWS:  
 PAVEMENT AREAS - MAINTAIN IN SERVICE UNTIL PREPARATION FOR PLACEMENT OF BITUMINOUS LEVELING COURSES  
 LAWN AREAS - REMOVE AFTER LAWN IS WELL ESTABLISHED AND ROOTED
  - SILT FENCE SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND AFTER EVERY RAIN. SEDIMENT SHALL BE REMOVED IF DEPOSITS REACH HALF THE FENCE HEIGHT.
  - CONTRACTOR WILL BE RESPONSIBLE FOR ALL TEMPORARY SOIL EROSION. OWNER WILL BE RESPONSIBLE FOR PERMANENT SOIL EROSION CONTROL.
  - DUST CONTROL SHALL BE PROVIDED BY MEANS OF WATER DISTRIBUTION ON A REGULAR BASIS OVER AREAS THAT COULD POTENTIALLY PRODUCE DUST CONDITIONS.

PROGRESSIVE ARCHITECTURE ENGINEERING & PLANNING, LLC  
 CHARLOTTE, NC | DELTROT, MI | GRAND RAPIDS, MI  
 wearprogressive.com

# PROGRESSIVE COMPANIES

## CHRISTIAN BROTHERS AUTOMOTIVE AUTOMOTIVE SERVICE CENTER

COA ARCHITECT

COA ENGINEER

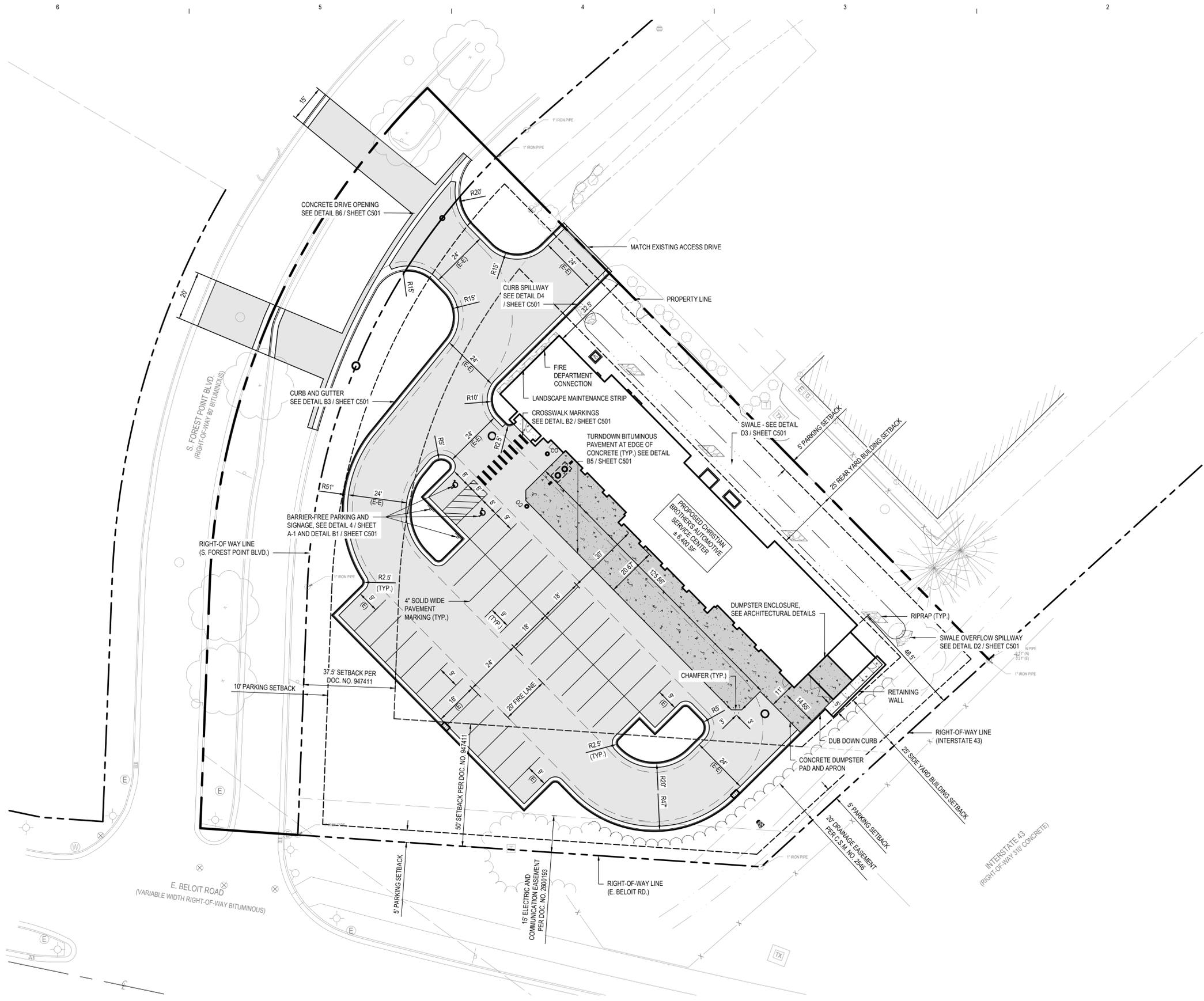
NOT FOR CONSTRUCTION

PROJECT NUMBER  
70050025  
 PROJECT MANAGER  
A. ZIEBEL  
 PROFESSIONAL  
J. Morrison  
 DRAWN BY  
K. Hollerman  
 CHECKED BY  
D. Willett

06/27/2025 SITE PLAN REVIEW  

### DEMOLITION, SOIL EROSION, AND SEDIMENT CONTROL PLAN C102

06/20/2025 2:10:55 PM Jeffrey Holleman  
 P:\06062025\03\WPC\Bldg C201 - SITE LAYOUT PLAN.dwg Holleman  
 ALL INFORMATION IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE  
 ALL INFORMATION IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE  
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**SITE LAYOUT PLAN**  
 1" = 20'  
 NORTH

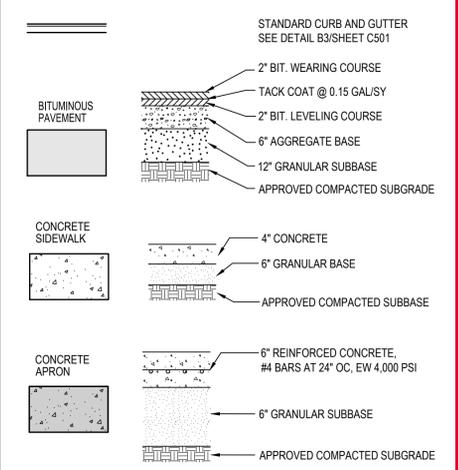


**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**GENERAL NOTES**

1. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
3. REFER TO ALTA SHEET FOR BENCHMARK INFORMATION.
4. ALL MATERIAL, SPECIFICATIONS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE MUNICIPAL AGENCIES.
5. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
6. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
7. EXISTING TREES TO REMAIN - CONTRACTOR TO PROTECT ROOT SYSTEMS BY MAINTAINING TREE PROTECTION FENCE AT TREE DRIPLENE TO ELIMINATE MATERIAL STORAGE, PARKING OR CONSTRUCTION TRAFFIC WITHIN THE TREE DRIPLENE.
8. ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
9. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
10. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHER WAS NOTED.
11. CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE WHITE.
12. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE COMPANIES. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
13. ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
14. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
15. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
16. ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET CITY OF NEW BERLIN STANDARDS.

**PAVEMENT LEGEND**



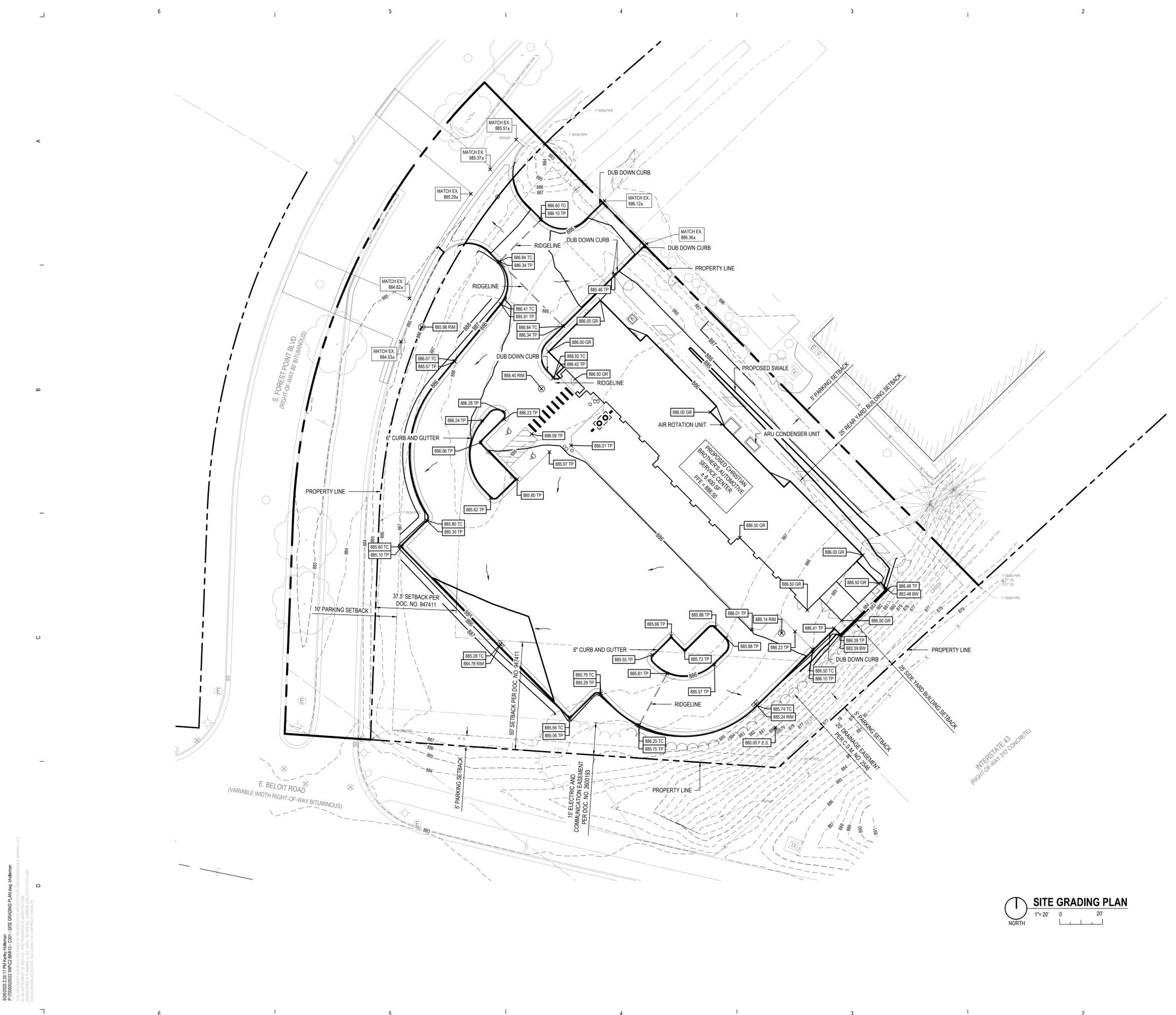
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**AUTOMOTIVE SERVICE CENTER**  
 COA ARCHITECT COA ENGINEER  
 12600 W. BELOIT RD., NEW BERLIN, WI 53151

**NOT FOR CONSTRUCTION**

PROJECT NUMBER: 70050025  
 PROJECT MANAGER: A. ZIEBELL  
 PROFESSIONAL: J. MANION  
 DRAWN BY: K. HOLLEMAN  
 CHECKED BY: D. WILLETT

06/25/2025 SITE PLAN REVIEW  
**SITE LAYOUT PLAN C201**



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**EARTHWORK & GRADING NOTES**

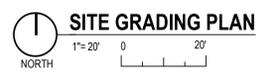
- EARTHWORK AND PAVEMENT CONSTRUCTION ARE TO BE PERFORMED IN ACCORDANCE WITH THE CURRENT WISDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
- THE SUBGRADE SHALL BE THOROUGHLY PROOFROLLED USING THE EQUIVALENT OF A FULLY LOADED TANDEM AXLE TRUCK HAVING A MINIMUM AXLE WEIGHT OF 10 TONS. SOFT OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL.
- PROOFROLLING SHALL BE PERFORMED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER.
- FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
- GRADE THE AGGREGATE BASE MATERIAL TO PROVIDE POSITIVE DRAINAGE AT A MINIMUM OF 1.5 PERCENT.
- THE AGGREGATE BASE AND SUBBASE SHALL EXTEND 12 INCHES BEYOND THE PAVED EDGE.
- ENGINEERED FILL LOCATED WITHIN PAVEMENT AND BUILDING AREAS SHALL BE PLACED IN 8 INCH MAXIMUM LOOSE THICKNESS AND MOISTURE CONDITIONED TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT TO MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D-1557, MODIFIED PROCTOR METHOD.
- ALL FILL OPERATIONS SHALL BE OBSERVED BY A QUALIFIED SOIL TECHNICIAN. A MINIMUM OF ONE COMPACTION TEST SHALL BE CONDUCTED PER 2,500 SFT AREA AT EACH LIFT. WITHIN TRENCH EXCAVATIONS, ONE TEST SHALL BE CONDUCTED FOR EACH 100 LINEAR FEET PER LIFT.
- SIDE SLOPES SHALL NOT EXCEED 1 VERTICAL OVER 3 HORIZONTAL SLOPE UNLESS SHOWN OTHERWISE.
- PARKING LOT CURBS SHALL BE BUILT WITH REVERSE SLOPE ON THE DOWNHILL SIDE OF THE ISLAND TO ASSURE POSITIVE STORM WATER RUNOFF TO CATCH BASINS.
- UNLESS SHOWN OTHERWISE, FINISH GRADES OF LAWN/LANDSCAPE ADJACENT TO BUILDING WALLS SHALL BE 6" BELOW FINISH FLOOR ELEVATION.
- PLACE 6" MINIMUM TOPSOIL IN ALL LANDSCAPE AREAS TO BE SEED. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
- FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.

**GRADING LEGEND**

→	FLOW ARROW
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
GR	GROUND
GP	GUTTER PAN
FF	FINISH FLOOR ELEVATION
EX	EXISTING ELEVATION
HP	HIGH POINT
LP	LOW POINT
L	LANDING
R	RAMP

**BARRIER FREE NOTES**

- BARRIER FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- 2% MAXIMUM CROSS SLOPE ON ACCESSIBLE ROUTE(S)
- 5% MAXIMUM LONGITUDINAL SLOPE (DIRECTION OF TRAVEL) UNLESS AT BARRIER FREE RAMP
- 2% MAXIMUM SLOPE LONGITUDINAL AND TRANSVERSE SLOPES AT BARRIER FREE PARKING SPACES AND ASSOCIATED ACCESS AISLES
- ACCESSIBLE ENTRIES - 2% MAXIMUM SLOPE IN ANY DIRECTION FOR THE FIRST 5' FROM ENTRY DOOR
- CONTRACTOR TO CONTACT ENGINEER PRIOR TO PAVING IF BARRIER FREE SLOPES DO NOT COMPLY OR FOR CLARIFICATION OF ANY DISCREPANCIES.



06/27/2025 2:20:11 PM Jeffrey Holleman  
 P:\05062025\03\TP\C301\0301 - SITE GRADING PLAN.dwg - holleman  
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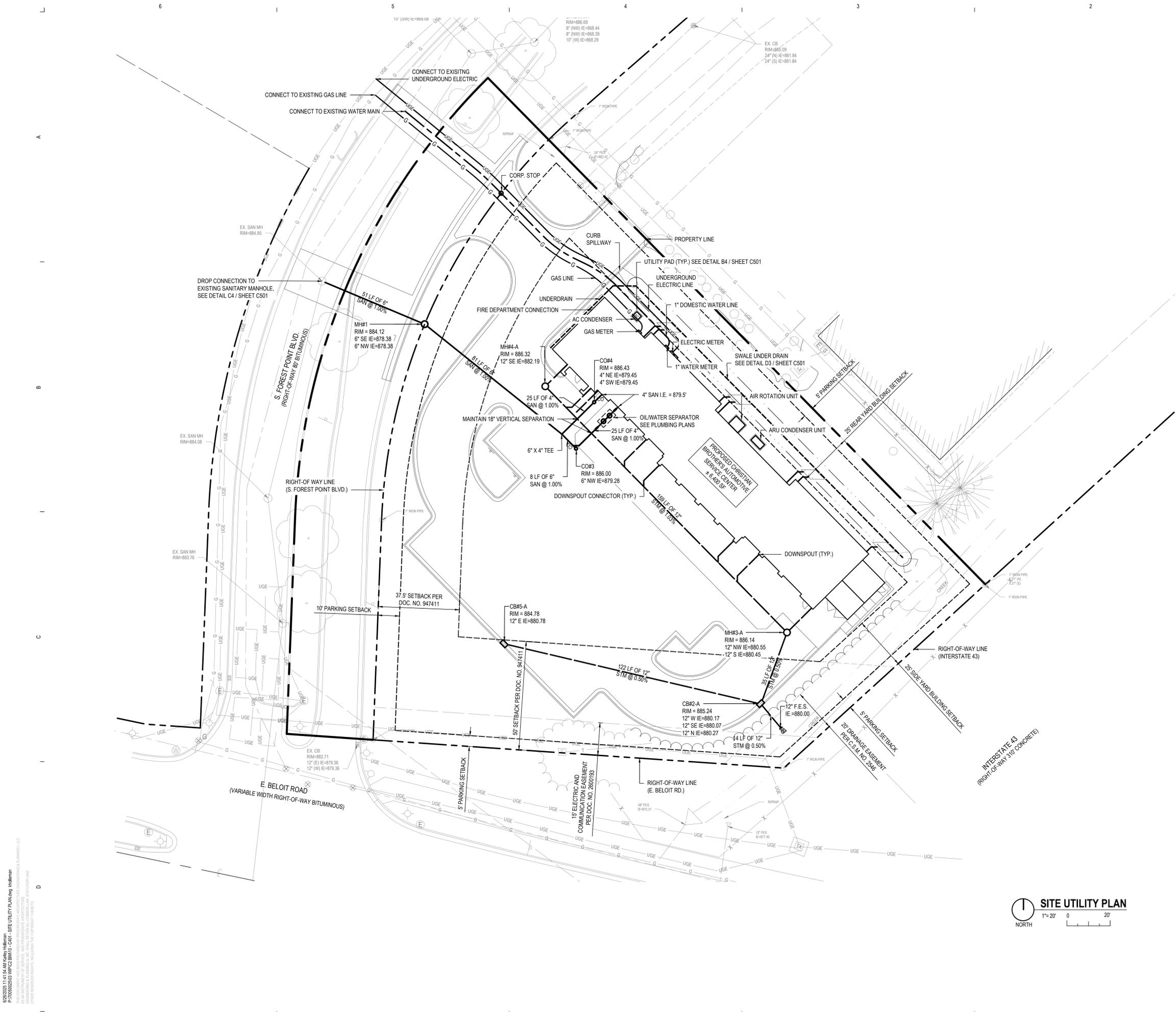
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**ISSUANCE**  
 06/27/2025 SITE PLAN REVIEW  
 PROJECT NUMBER: 70505025  
 PROJECT MANAGER: A. ZIEBELL  
 PROFESSIONAL: J. MANION  
 DRAWN BY: K. HOLLEMAN  
 CHECKED BY: D. WILLETT

**SITE GRADING PLAN C301**



**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**STORM SEWER NOTES**

1. STORM SEWER PIPE 10" DIA. OR LARGER SHALL BE ASTM C-76 CL IV REINFORCED CONCRETE PIPE OR ASTM F2306, HIGH DENSITY POLYETHYLENE PIPE. STORM SEWER PIPE SMALLER THAN 12" SHALL BE SDR 35 PVC.
2. YARD DRAINS (YD) TO BE 12" SQUARE DRAINTECH CATCH BASIN BY NDS WITH SQUARE POLYPROPYLENE GRATE OR APPROVED EQUAL.
3. CATCH BASINS (CB) TO BE 4' DIA. UNLESS NOTED OTHERWISE.
4. CONNECT ALL ROOF DRAINS TO PROVIDED STORM SEWER UNLESS OTHERWISE NOTED.
5. WATER QUALITY UNIT TO BE ADS BARRACUDA OR APPROVED EQUAL. SEE SHEET C502 FOR DETAILS.
6. ALL FLARED END SECTIONS TO BE CONCRETE UNLESS NOTED OTHERWISE.
7. 4" UNDERDRAIN INSTALLED UNDER ALL PAVEMENT EDGES WITHIN THE LOWER PORTION OF THE 12" SAND SUBBASE AND FOLLOW THE SLOPE OF THE CURB.

**SANITARY SEWER NOTES**

1. CONTRACTOR SHALL OBTAIN PERMIT TO CONNECT TO SANITARY SYSTEM FROM THE CITY OF NEW BERLIN.
2. SANITARY SEWER WITHIN RIGHT OF WAY TO COMPLY WITH CITY OF NEW BERLIN SANITARY SEWER SPECIFICATIONS.
3. CLEANOUTS TO BE PROVIDED WITHIN 5 FEET OF THE BUILDING EXTERIOR WALL ON ALL LATERALS EXITING THE BUILDING.
4. SANITARY SEWER LATERALS WITHIN SITE SHALL BE (ASTM D-3034) SDR 26.
5. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
6. REFER TO PLUMBING PLANS FOR SCHEDULE OF GREASE TRAPS, SAND TRAPS, AND TRENCH DRAIN.

**WATERMAIN NOTES**

1. WATERMAIN MATERIAL AND INSTALLATION SHALL BE CONSTRUCTED TO THE CITY OF NEW BERLIN STANDARD CONSTRUCTION REQUIREMENTS.
2. WATERMAIN MATERIAL AND INSTALLATION SHALL BE PERFORMED PER CITY OF KALAMAZOO SPECIFICATIONS.
3. 4" AND LARGER WATERMAIN PIPE SHALL BE DUCTILE IRON PIPE.
4. 2" AND SMALLER DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER PIPE.
5. COORDINATE WATER TAPS WITH CITY OF NEW BERLIN.

**SITE UTILITY PLAN**  
 1" = 20'  
 NORTH

06/25/2025 11:41:54 AM Kelly Healdman  
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 ALL IN INSTRUMENT OF SERVICE AND PROFESSIONAL ARCHITECTURE, ENGINEERING & PLANNING, L.L.C.  
 CONTRACT NUMBER: 2025-03-001  
 CONTRACT TITLE: CHRISTIAN BROTHERS AUTOMOTIVE SERVICE CENTER

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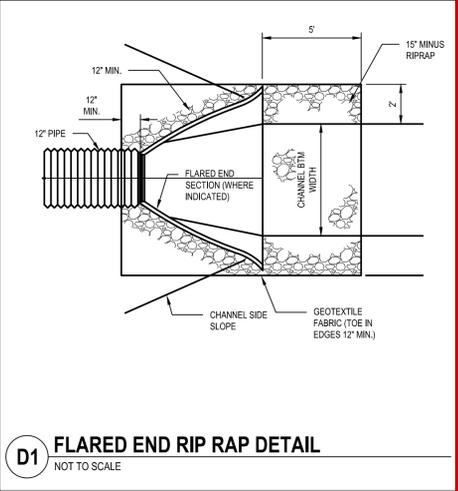
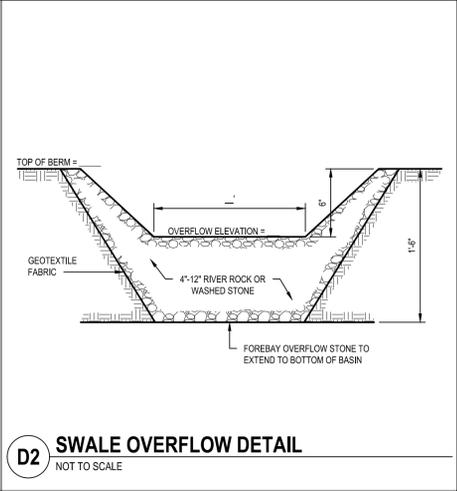
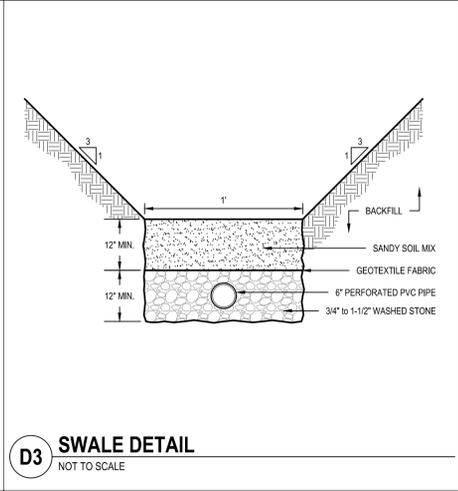
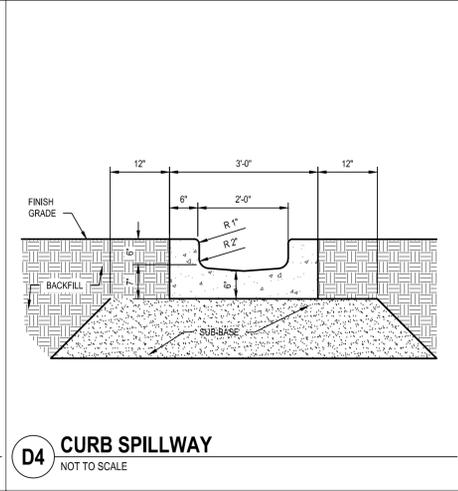
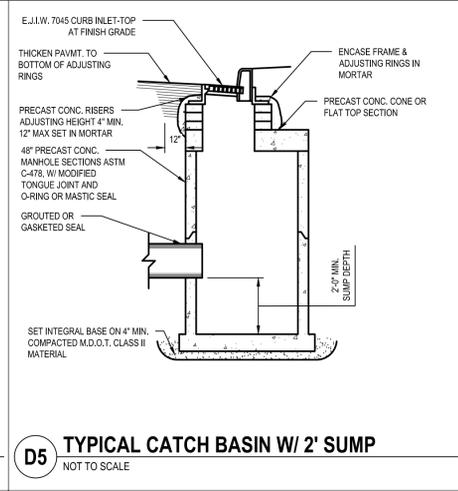
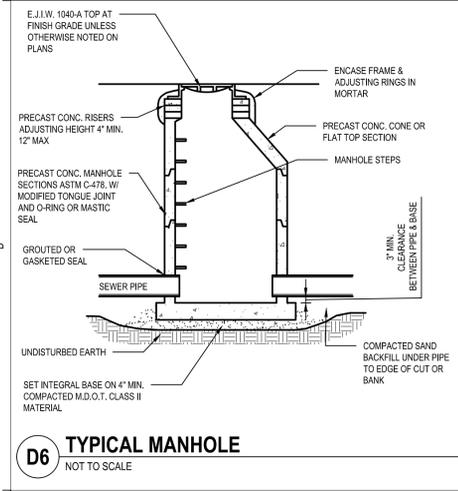
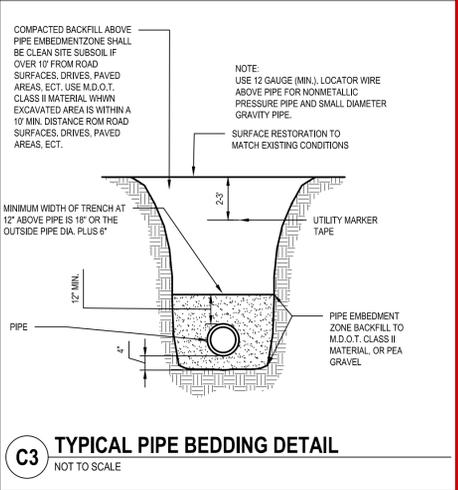
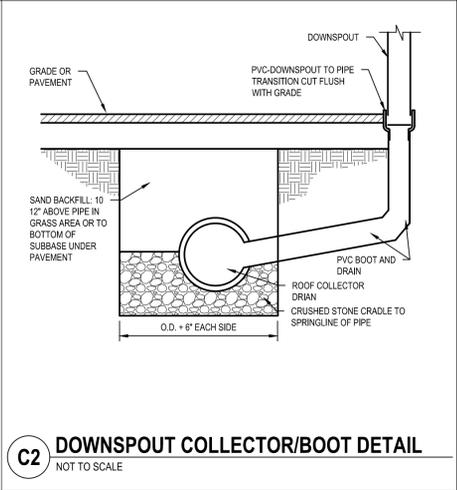
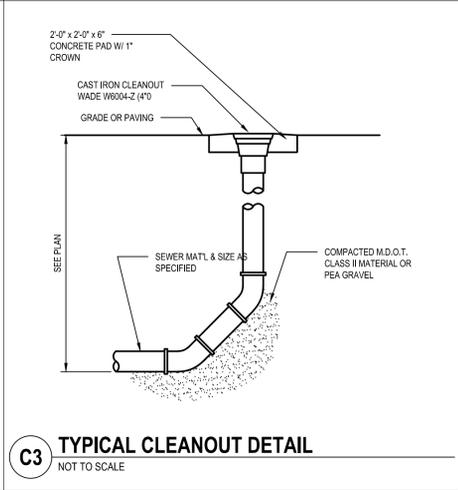
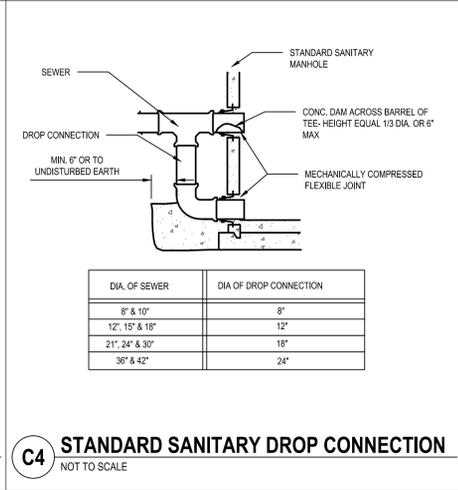
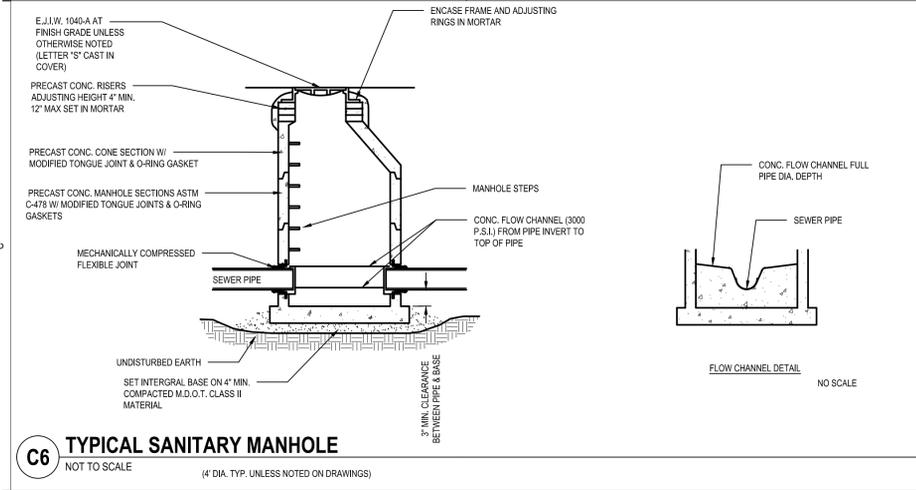
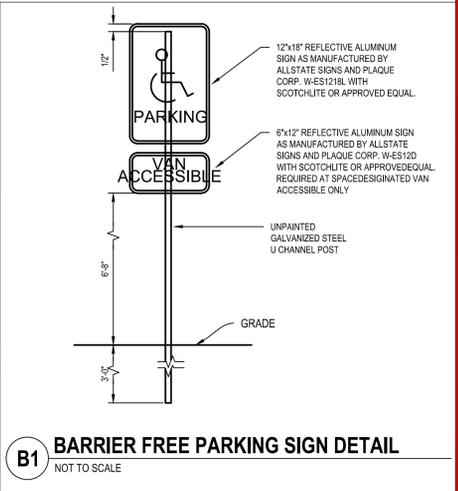
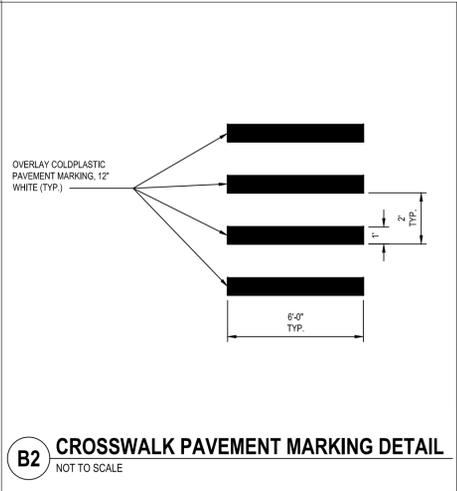
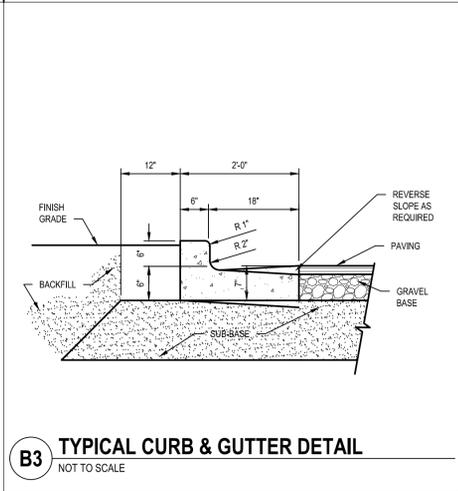
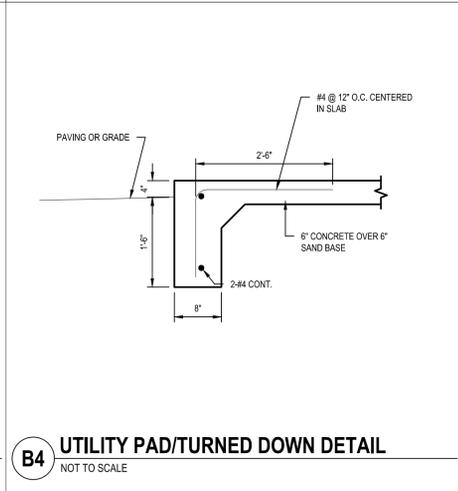
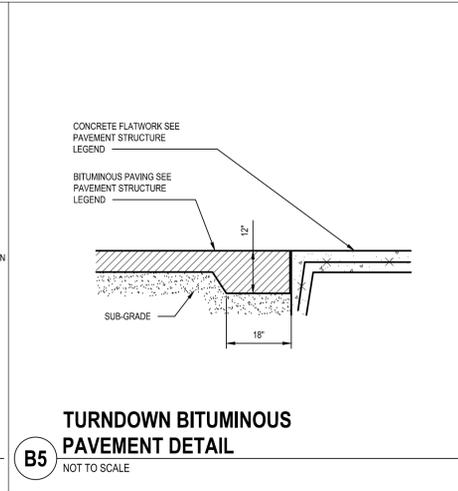
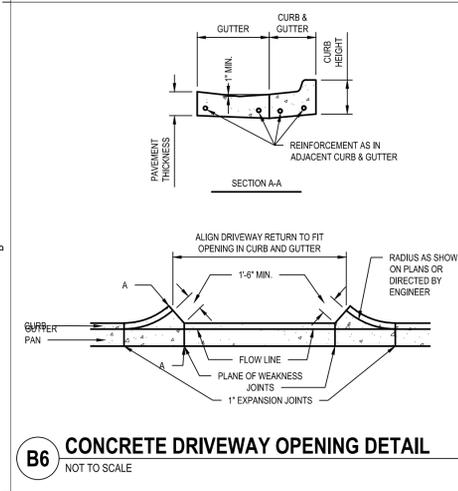
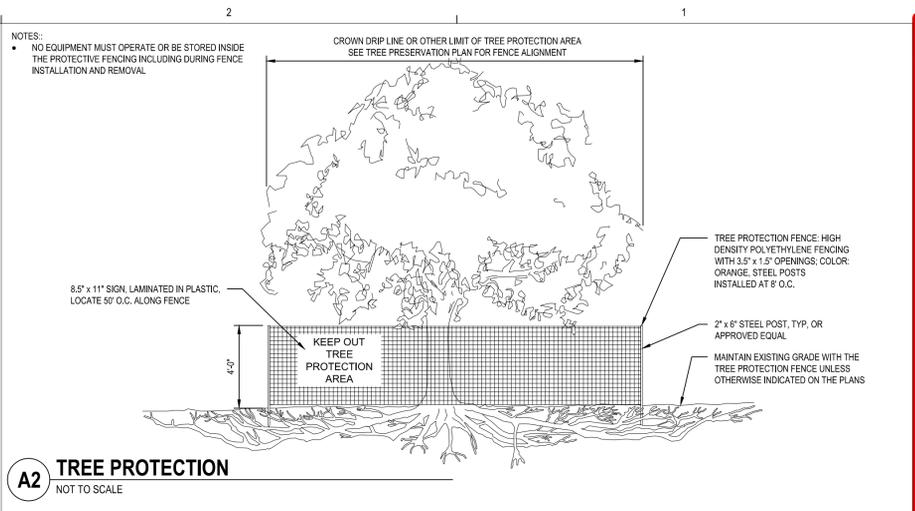
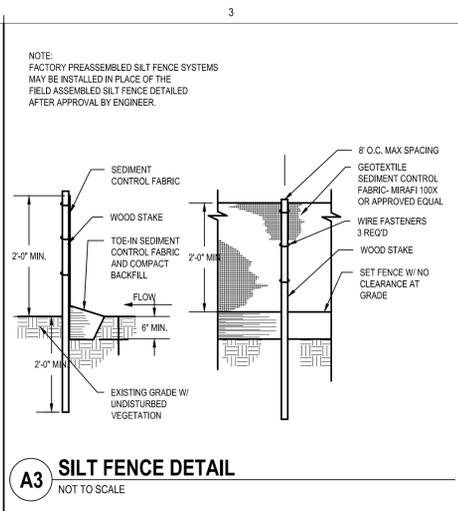
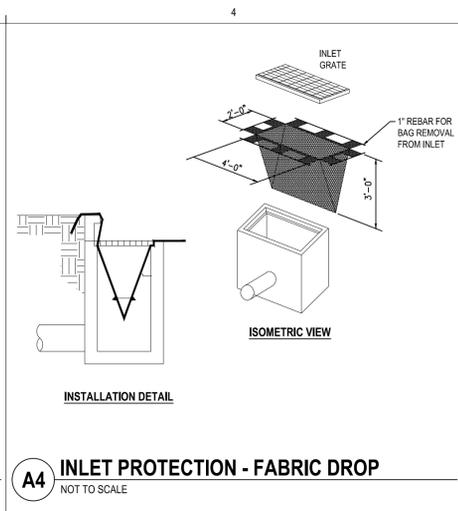
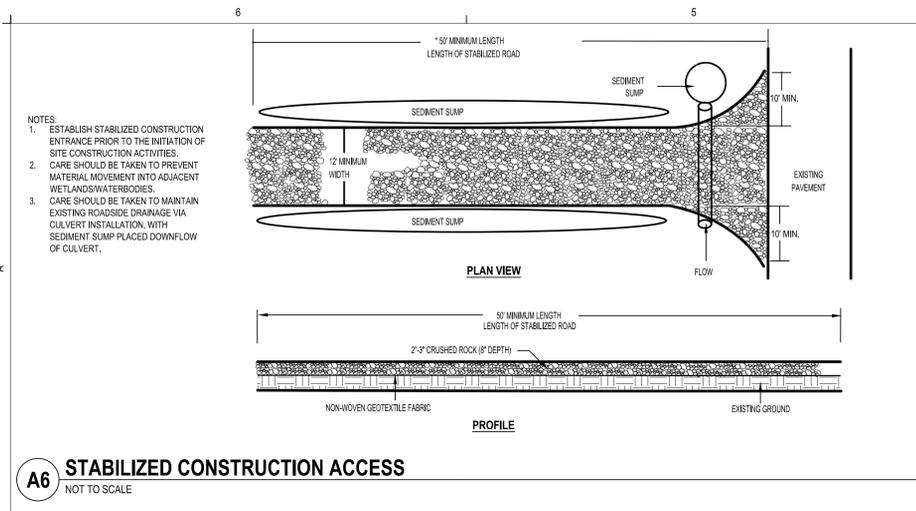
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**ISSUANCE**  
 06/25/2025 SITE PLAN REVIEW

PROJECT NUMBER: 70050025  
 PROJECT MANAGER: A. ZIEBELL  
 PROFESSIONAL: J. MANION  
 DRAWN BY: K. HOLLEMAN  
 CHECKED BY: D. WILLETT

**SITE UTILITY PLAN**  
**C401**





**CALL 811 NOTE:**  
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

**LANDSCAPE CALCULATIONS**

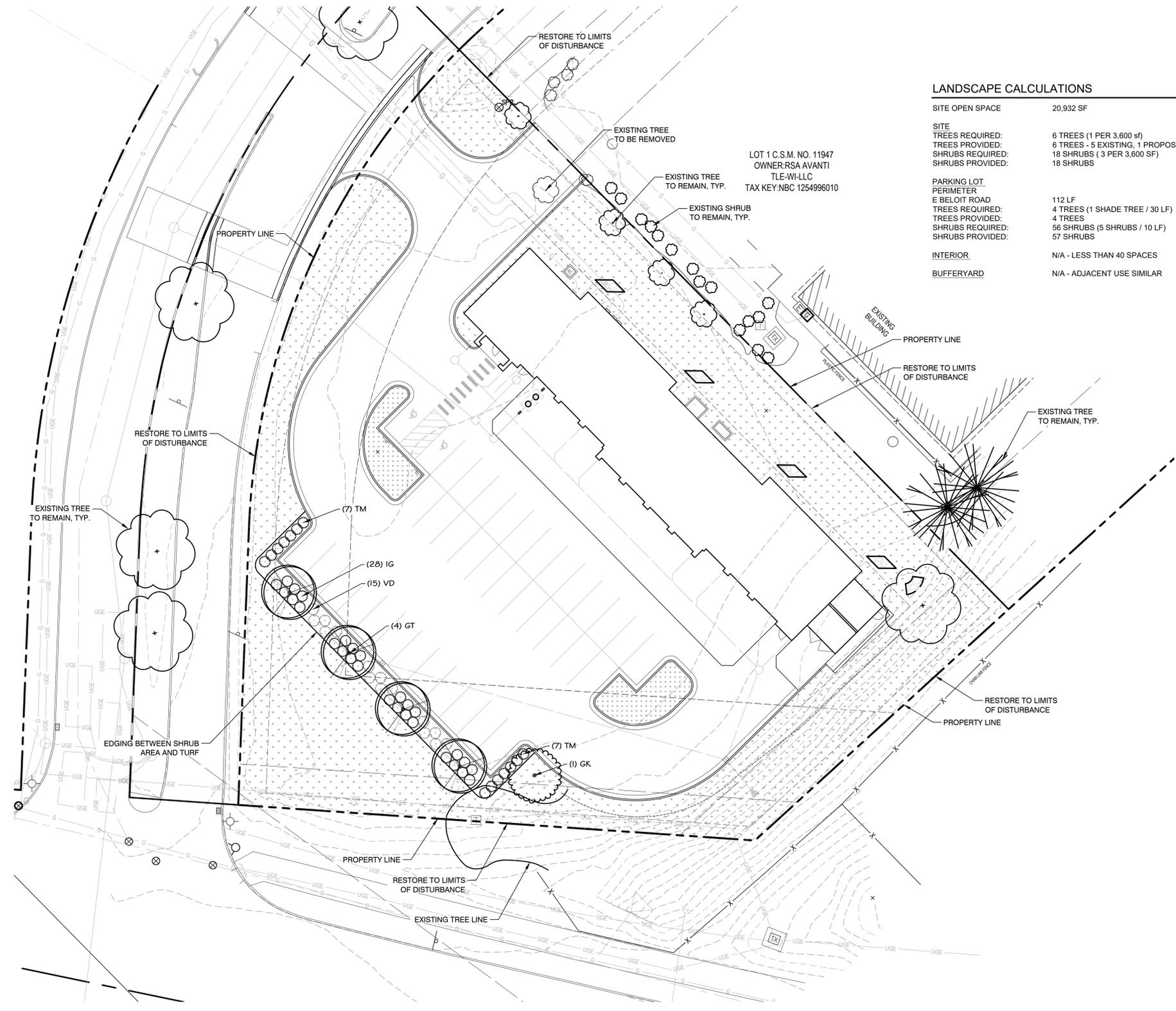
<b>SITE OPEN SPACE</b>	20,932 SF
<b>SITE TREES REQUIRED:</b>	6 TREES (1 PER 3,600 SF)
<b>TREES PROVIDED:</b>	6 TREES - 5 EXISTING, 1 PROPOSED
<b>SHRUBS REQUIRED:</b>	18 SHRUBS (3 PER 3,600 SF)
<b>SHRUBS PROVIDED:</b>	18 SHRUBS
<b>PARKING LOT PERIMETER</b>	112 LF
<b>E BELOIT ROAD TREES REQUIRED:</b>	4 TREES (1 SHADE TREE / 30 LF)
<b>TREES PROVIDED:</b>	4 TREES
<b>SHRUBS REQUIRED:</b>	56 SHRUBS (5 SHRUBS / 10 LF)
<b>SHRUBS PROVIDED:</b>	57 SHRUBS
<b>INTERIOR</b>	N/A - LESS THAN 40 SPACES
<b>BUFFERYARD</b>	N/A - ADJACENT USE SIMILAR

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
<b>TREES</b>						
	GT	4	Gleditsia triacanthos inermis 'Skycole' TM Skyline Thornless Honey Locust	1.5" Cal.	B&B	10' Min.
	GK	1	Gymnocladus dioica 'Espresso' Kentucky Coffee Tree	2.5" Cal.	Cont. or B&B	10'-12'
<b>SHRUBS</b>						
	IG	28	Ilex glabra 'Shamrock' Inkberry	3 gal.	36" OC	18" Min. Ht.
	TM	14	Taxus x media 'Densiformis' Dense Yew	3 gal.	36" OC	18" Min. Ht.
	VD	15	Viburnum dentatum 'Arrowwood' Arrowwood Viburnum	5 gal.	Per Plan	30" Min
<b>GROUND COVERS</b>						
	PP	18,301 sf	Poa pratensis Kentucky Bluegrass		Hydromulch	
	TURF	874 sf	Poa pratensis Kentucky Bluegrass		sod	

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT AND TOWNSHIP LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



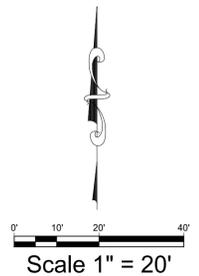
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 TLE-WI-LLC  
 TAX KEY: NBC 1254996010

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



PROJECT NUMBER: 7050025  
 PROJECT MANAGER: A. ZIEBELL  
 PROFESSIONAL  
 DRAWN BY:  
 CHECKED BY:

06/26/2025 12:53:27 PM Eric Shepley  
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# PLANTING SPECIFICATIONS

## GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
  1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING
  2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
- B. SCOPE OF WORK
  1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

## PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
  1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITH A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS 'S' SHARPED ROOTS).
  3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (BAB), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
  4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD TOPSOIL, SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- D. TREE STAKING AND GUYING:
  1. STAKES: 6" LONG GREEN METAL T-POSTS.
  2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- E. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- F. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTAL OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

## METHODS

- A. SOIL PREPARATION
  1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  2. SOIL TESTING:
    - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECTS LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
    - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SOIL (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
    - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE REED, AS WELL AS PREPARE ANY FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
    - b. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - c. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
  5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
    - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
    - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS DRAINAGE BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
    - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
    - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
    6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

## SUBMITTALS

1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER TYPES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

## GENERAL PLANTING

1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCING NEAR EXISTING TREES:
  - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
  - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
  - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
  - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
4. TREE PLANTING
  1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
  2. TAKE CARE TO KEEP THE EXCAVATION OPEN AND UNDEGRADED. THE TOTAL NUMBER OF TREES FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
  3. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
  4. BACKFILL THE TREE HOLE WITH THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
  5. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKING TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THEM TO THEIR ORIGINAL LOCATION. IF IT SHOULD BE DAMAGED, TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
    - a. 1-1/2" TREES: TWO STAKES PER TREE
    - b. 2-1/2" TREES: THREE STAKES PER TREE
    - c. TREES OVER 4" CALIPER: GUY AS NEEDED
    - d. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STAKE THE TREE.
  6. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).
5. SHRUB, PERENNIAL AND GROUNDCOVER PLANTING:
  1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" DEEP LESS THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  2. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

## SODDING

1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

## MULCH

1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

## CLEAN UP

1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

## INSPECTION AND ACCEPTANCE

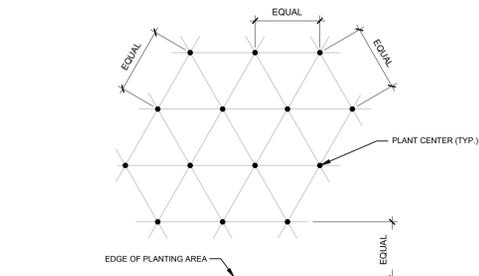
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

## LANDSCAPE MAINTENANCE

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEFORE FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDRIC/MULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

## WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDRIC/MULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
3. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



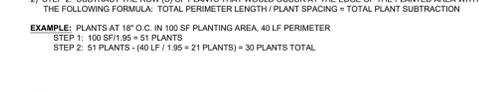
NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:  
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.48
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH PLANT SPACING - TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. @ 100 SF PLANTING AREA, 40 LF PERIMETER  
STEP 1: 100 SF / 1.95 = 51 PLANTS  
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL



## C PLANT SPACING

SCALE: NTS

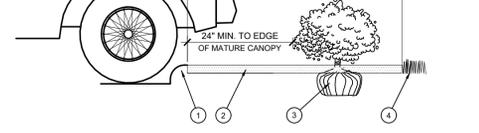
## A TREE PLANTING

SCALE: NOT TO SCALE



## D PLANTING AT PARKING AREA

SCALE: NOT TO SCALE



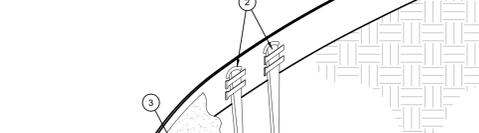
## B SHRUB AND PERENNIAL PLANTING

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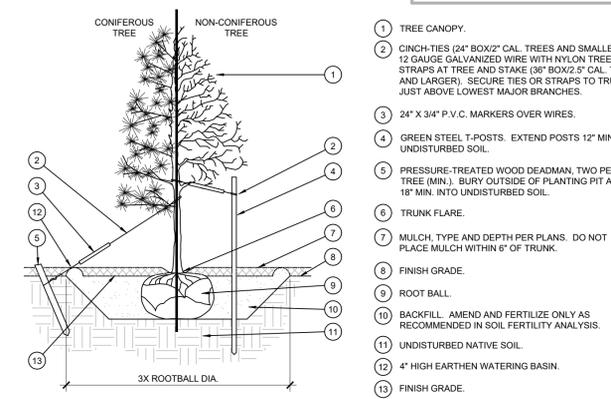


## E STEEL EDGING

SCALE: NOT TO SCALE



- NOTES:
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
  - 2) BOTTOM OF EDGING SHALL BE BURIED 4" BELOW FINISH GRADE.
  - 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.



## STAKING EXAMPLES (PLAN VIEW)



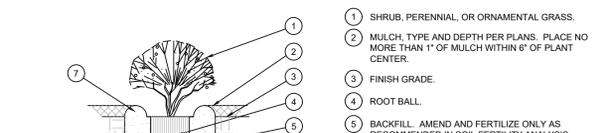
## A TREE PLANTING

SCALE: NOT TO SCALE



## B SHRUB AND PERENNIAL PLANTING

SCALE: NTS



## E STEEL EDGING

SCALE: NOT TO SCALE



- NOTES:
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
  - 2) BOTTOM OF EDGING SHALL BE BURIED 4" BELOW FINISH GRADE.
  - 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.



CALL 811 NOTE:  
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

PROGRESSIVE COMPANIES

CHRISTIAN BROTHERS AUTOMOTIVE AUTOMOTIVE SERVICE CENTER

COA ARCHITECT COA ENGINEER

PROJECT NUMBER: 7055025  
PROJECT MANAGER: A. ZIEBELL  
PROFESSIONAL  
DRAWN BY:  
CHECKED BY:

LANDSCAPE DETAILS & SPECIFICATIONS  
LP-2



06/26/2025

6/26/2025 11:28:40 AM Eric Shepley  
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 Plot Font: Arial, 10  
 Plot Units: Feet  
 Plot Precision: 2  
 Plot Tolerance: 0.001

NO.	REVISIONS	DATE



PROJECT FOR:  
**CHRISTIAN BROTHERS  
 AUTOMOTIVE**  
 NEW BERLIN, VT

DRAWN BY: JM  
 CHECKED BY: JM  
 JOB #: 25082  
 DATE: 05/28/25  
**SITE  
 DETAILS**

**A-1**

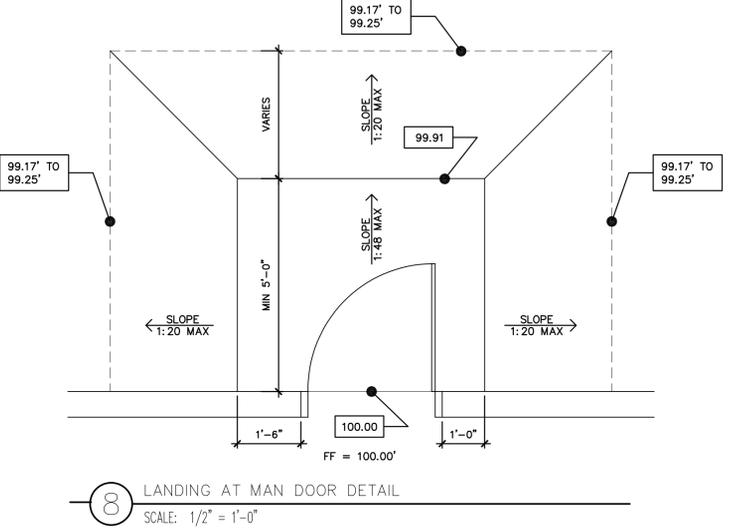
**GENERAL NOTES**

1. BASE INFORMATION WAS TAKEN FROM PROPERTY DESCRIPTION PLANS ON THIS PAGE. MINOR FIELD ADJUSTMENTS MAY BE NECESSARY TO ALIGN WITH EXISTING FEATURES.
2. SMOOTH TRANSITION IS REQUIRED BETWEEN ALL EXISTING AND NEW PAVEMENTS.
3. ROADWAY AND ACCESS CLEARANCES ARE SHOWN TO FACE OF CURB AND END OF PARKING SPACES. ALL PARKING SPACES ARE AS SHOWN BY CIVIL.
4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGED IN COMPLIANCE WITH LOCAL STANDARDS AND AT THE CONTRACTORS EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
5. THE LIGHTING ON THE SITE SHALL COMPLY WITH THE LOCAL ZONING ORDINANCE AND STATE ENERGY CODE AS REQUIRED.
6. THE DUMPSTER IS TO BE ENCLOSED WITH MASONRY WALLS TO MATCH THE BUILDING EXTERIOR. THE ENCLOSURE GATES SHALL BE OPAQUE AND CONSTRUCTED OF PAINTED STEEL FRAME AND STEEL PANELS. SEE A-4 FOR MORE INFORMATION ON DUMPSTER ENCLOSURE AND BUILDING EXTERIOR.
7. ALL OFF SITE EASEMENTS MUST BE FILED PRIOR TO START OF CONSTRUCTION.
8. IRRIGATION SYSTEM SHALL BE PROVIDED AND INCLUDED IN THE BASE BID. THE REQUIRED AUTOMATIC UNDERGROUND SPRINKLER SYSTEM SHALL HAVE SEPARATE ZONES FOR LAWN AND PLANT BEDDING AREAS. LAYOUT PER THE MANUFACTURES RECOMMENDATIONS WITH OWNERS APPROVAL REQUIRED.

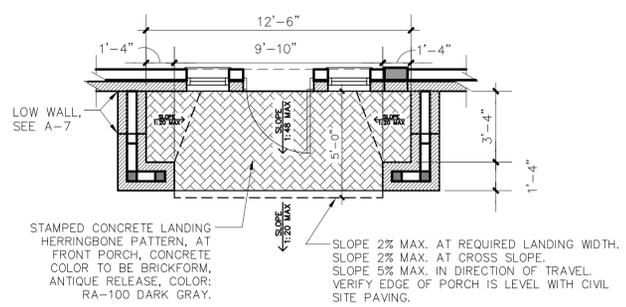
**DRIVEWAY CURB AND PAVING NOTES**

1. CIVIL ENGINEERING DRAWING SUPERCEDE INFORMATION ON THIS DRAWING. NOTIFY ARCHITECT AND OWNER OF ALL DISCREPANCIES.
2. SIDEWALK, DRIVEWAY, CURB, AND LINE AND GRADE SHALL BE SET BY CIVIL ENGINEER.
3. SIDEWALKS SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
4. DRIVEWAYS SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
5. CURB AND GUTTER SHALL BE CONSTRUCTED PER GEOTECHNICAL REPORT AND CIVIL DRAWINGS.
6. PROVIDE 1/2" EXPANSION MATERIAL AT INTERVALS OF 20'-0" (MAXIMUM) THROUGHOUT ENTIRE LENGTH OF SIDEWALK.
7. PROVIDE 1/2" EXPANSION MATERIAL BETWEEN WHERE SIDEWALKS ABUT TO A FIRE HYDRANT OR UTILITY POLE.
8. IN THE EVENT THAT MORE THAN ONE DRIVEWAY IS CONSTRUCTED FOR ACCESSING THE PROPERTY FROM THE SAME STREET APPROACH, MAINTAIN MINIMUM SEPARATION BETWEEN DRIVES AS REQUIRED BY LOCAL ZONING ORDINANCE, TRAFFIC AND TRANSPORTATION REGULATIONS, AND/OR BUILDING CODE.
9. SURFACE BETWEEN DRIVEWAYS, FROM TOP OF CURB TO SIDEWALK AND FROM SIDEWALK TO PROPERTY LINE MAY BE EITHER CONCRETE OR DIRT, OR AS REQUIRED BY ORDINANCE AND CODES AS MADE REFERENCE TO IN #8 ABOVE.

NOTE:  
 1. REF: CIVIL FOR SITE PAVEMENT ELEVATIONS PRIOR TO BEGINNING WARP UP TO DOOR.  
 2. PAVING TO WARP UP WITHOUT SEAMS TO ACHIEVE REQUIRED SLOPES.



**8** LANDING AT MAN DOOR DETAIL  
 SCALE: 1/2" = 1'-0"

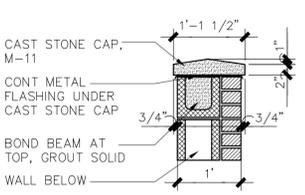


**7** PORCH DETAIL  
 SCALE: 1/4" = 1'-0"

**6** HANDICAP SIGN  
 SCALE: 1/2" = 1'-0"

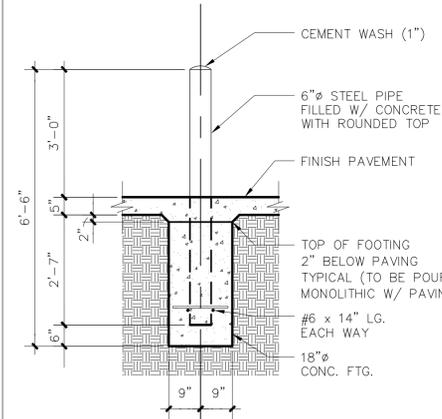


**4** HANDICAP SYMBOL PAINTED ON PAVEMENT  
 SCALE: 1/4" = 1'-0"

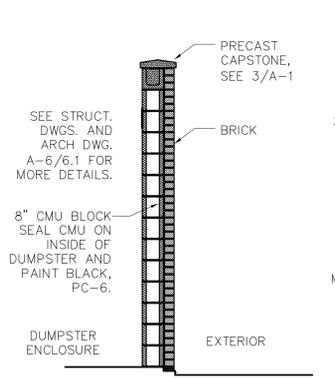


**3** CAST STONE CAP DETAIL  
 SCALE: 3/4" = 1'-0"

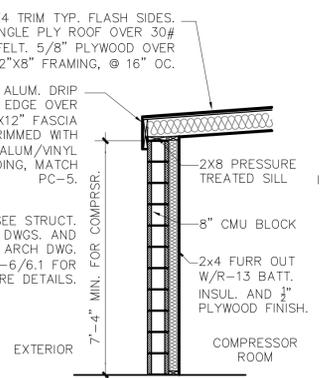
NOTE: BOLLARD TO BE PAINTED WITH RUST PROOF PAINT, 2 COATS BEFORE INSTALLATION, 1 COAT AFTER INSTALLATION. COLOR TO BE PC-6 BLACK OR SAFETY YELLOW DEPENDING ON LOCATION. VERIFY WITH PLANS AND OWNER IN THE FIELD.



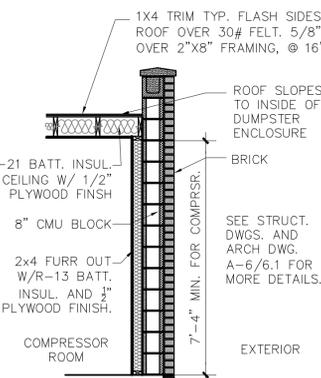
**5** STEEL PIPE BOLLARD  
 SCALE: 1/2" = 1'-0"



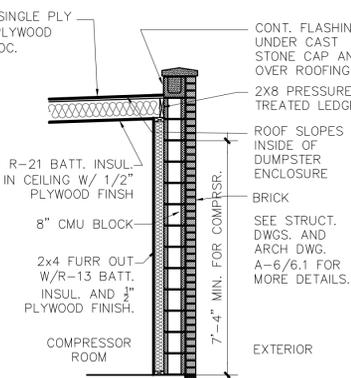
**2D** DUMPSTER ENCLOSURE WALL SECTION  
 SCALE: 3/8" = 1'-0"



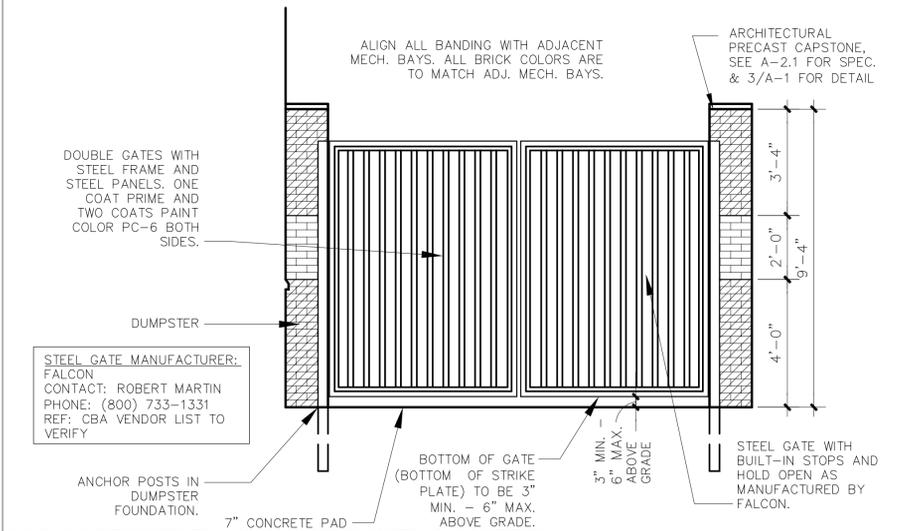
**2C** COMPRESSOR ROOM WALL SECTION  
 SCALE: 3/8" = 1'-0"



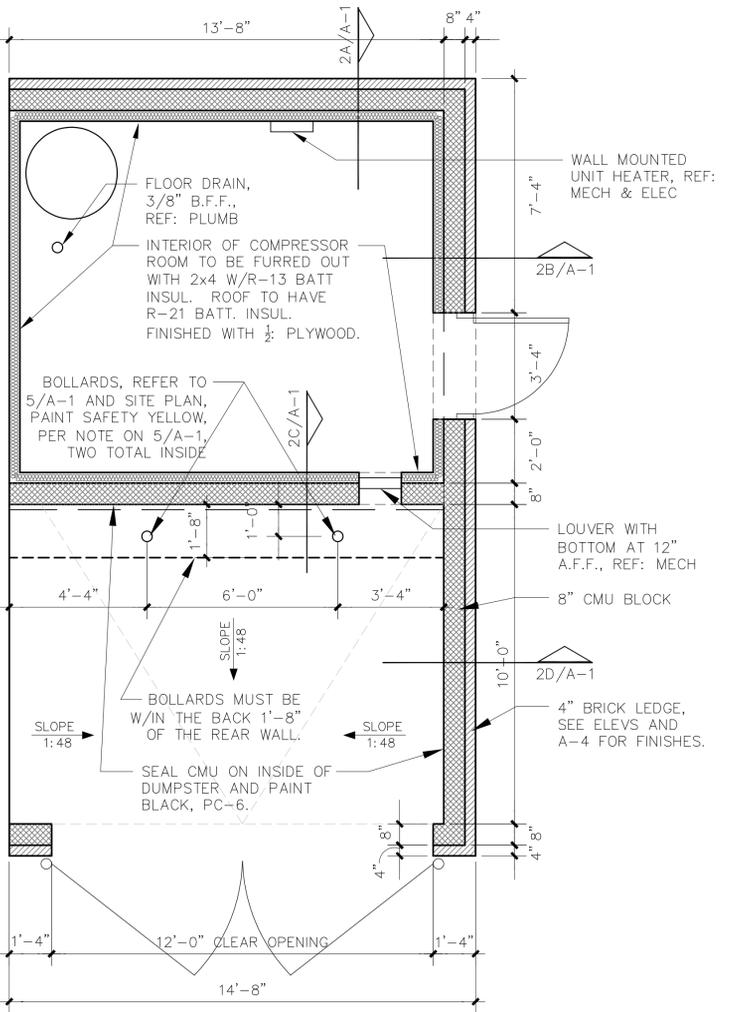
**2B** COMPRESSOR ROOM WALL SECTION  
 SCALE: 3/8" = 1'-0"



**2A** COMPRESSOR ROOM WALL SECTION  
 SCALE: 3/8" = 1'-0"

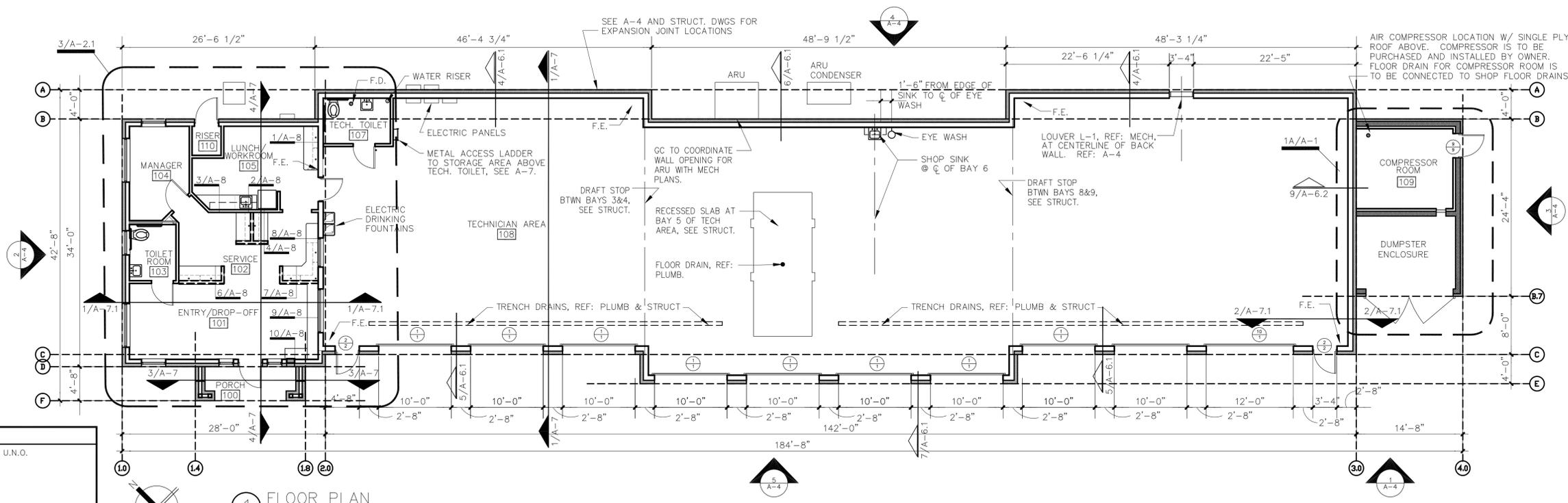


**1B** DUMPSTER ENCLOSURE AND COMPRESSOR ROOM ELEVATION  
 SCALE: 3/8" = 1'-0"



**1A** DUMPSTER ENCLOSURE AND COMPRESSOR ROOM PLAN  
 SCALE: 3/8" = 1'-0"

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**1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O.
  - 104 INDICATES ROOM NUMBER.
  - DOOR NUMBER RE: DOOR SCHEDULE. HARDWARE SET, RE: HARDWARE SCHEDULE.
  - WINDOW TYPE. RE: 2/A-2 WINDOW SCHEDULE.
  - F.E. - INDICATES FIRE EXTINGUISHER. PROVIDE FIRE EXTINGUISHER (MINIMUM SIZE, 10-B, C AT 48" A.F.F.) 50 FEET APART MAX. PER IFC SECTION 906.
  - ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE MINIMUM "CLASS A".
  - F.D. - INDICATES FLOOR DRAIN. PROVIDE FLOOR DRAINS AT TOILET ROOM 107. KEEP TOP OF DRAIN LEVEL WITH TOP OF FINISHED FLOOR.
  - PROVIDE TOILET ACCESSORIES (TA-1 - TA-6) FOR TOILET ROOMS 103 AND 107. RE: A-10 FOR INTERIOR ELEVATIONS ILLUSTRATING LOCATIONS. RE: GENERAL TOILET ROOM NOTES SHEET A-10.
  - PROVIDE SOUND ATTENUATION INSULATION AT PERIMETER WALLS OF OFFICE TOILET ROOM 103 AND TECH TOILET ROOM 107.
  - GYP. BOARD TO HAVE MESH TAPED JOINTS.
  - RECEPTION KIOSKS ARE FURNITURE TO BE BUILT AND INSTALLED BY G.C. REF: A-8.1 FOR KIOSK DRAWINGS.
  - ALL LOCATIONS SCHEDULED TO GET TV'S (OUTLETS AT 84" A.F.F.) TO RECEIVE BLOCKING FOR TV MOUNTS. REF: A-10 FOR TV LOCATIONS.

**WINDOW SCHEDULE** \*SEE EXTERIOR ELEVATIONS TO VERIFY WINDOWS WITH FROSTED GLASS. NOTE: GLAZING U-FACTOR - 0.40 OR BETTER SHGC - 0.25 OR BETTER

TYPE	ROUGH OPENING	VISIBLE WINDOW SIZE	DESCRIPTION	REMARKS
A	6'-0" WIDE X 4'-4" HIGH	5'-8" WIDE X 4'-0" HIGH	KAWNEER TRIFAB VG 451-T 4-1/2" FIXED CENTER THERMAL ALUMINUM WINDOW W/ INTERNAL MUNTINS	PROVIDE DOUBLE-PANE LOW-E GLAZING - FRAMES AND MUNTINS TO BE BONE WHITE
B	2'-0" WIDE X 4'-4" HIGH	1'-8" WIDE X 4'-0" HIGH	KAWNEER TRIFAB VG 451-T 4-1/2" FIXED CENTER THERMAL ALUMINUM WINDOW W/ INTERNAL MUNTINS	PROVIDE DOUBLE-PANE LOW-E GLAZING - FRAMES AND MUNTINS TO BE BONE WHITE
C	3'-4" WIDE X 4'-4" HIGH	3'-0" WIDE X 4'-0" HIGH	KAWNEER TRIFAB VG 451-T 4-1/2" FIXED CENTER THERMAL ALUMINUM WINDOW W/ INTERNAL MUNTINS	PROVIDE DOUBLE-PANE LOW-E GLAZING - FRAMES AND MUNTINS TO BE BONE WHITE
D	3'-4" WIDE X 3'-4" HIGH	3'-0" WIDE X 3'-0" HIGH	KAWNEER TRIFAB VG 451-T 4-1/2" FIXED CENTER THERMAL ALUMINUM WINDOW W/ INTERNAL MUNTINS	PROVIDE DOUBLE-PANE LOW-E GLAZING - FRAMES AND MUNTINS TO BE BONE WHITE - FROSTED FILM ON TEMPERED SAFETY GLAZING
E	6'-0" WIDE X 2'-10" HIGH	5'-8" WIDE X 2'-6" HIGH	ALUMINUM WINDOW W/ NO MUNTINS	PROVIDE DOUBLE-PANE LAMINATED SAFETY GLAZING - FRAMES TO BE BONE WHITE - ACOUSTICAL RATING - 1" INFILL BETWEEN PANES
F	4'-0" WIDE X 2'-10" HIGH	3'-8" WIDE X 2'-6" HIGH	KAWNEER TRIFAB VG 451 4-1/2" FIXED INTERIOR ALUMINUM WINDOW W/ NO MUNTINS	PROVIDE DOUBLE-PANE LAMINATED SAFETY GLAZING - FRAMES TO BE BONE WHITE - ACOUSTICAL RATING - 1" INFILL BETWEEN PANES
G	FIELD VERIFY	FIELD VERIFY	3/8" CLEAR TEMPERED GLASS BY GC VINYL STICKERS BY SIGNAGE VENDOR	REF: A-8, A-8.1 AND A-10

**FROSTED GLASS NOTE:**  
FROSTED GLASS TO BE 3M FASARA GLASS FINISH LUCE (SH2FGLU) ON INTERIOR PANE OF GLASS SO THAT INTERNAL MUNTINS ARE VISIBLE FROM EXTERIOR. EXTERIOR PANE OF GLASS TO BE LOW-E.

**WINDOW BLINDS NOTE:**  
WINDOW BLINDS PROVIDED BY OWNER, AND INSTALLED BY G.C. GC TO FILL OUT ROUGH OPENING ORDER SHEET AND SEND TO BILL THREE WEEKS PRIOR TO OPENING. BLIND VENDOR WILL INSTRUCT G.C. ON OBTAINING DIMENSIONS. BLINDS WILL BE SHIPPED TO G.C. FOR INSTALLATION. BLINDS TO BE INSTALLED FLUSH WITH INSIDE OF WINDOW.  
NO BLINDS ON WINDOWS E OR F.  
CONTACT: BILL SMITH  
PH: (817) 925-2202  
EMAIL: bill@billsmithblinds.com

**DOOR SCHEDULE**

DR. TYP.	WIDTH	HEIGHT	DR. TYPE	FR. TYPE	HEAD	JAMB	SILL	LOCATION (FROM/TO)	REMARKS
1	10'-0"	10'-8"	A1	MASONRY	10/A-9	5/A-9	1/A-9	TECHNICIAN AREA TO EXTERIOR	PROVIDE EXTENSION TRACKS TO LIFT DOORS TO 13'-6" A.F.F.
2	3'-0"	6'-8"	B1	4" H.M. HEAD	17/A-9	16/A-9	15/A-9	TECHNICIAN AREA TO EXTERIOR	PROVIDE DRIP CAP AT TOP OF DOOR FRAME.
3	3'-0"	6'-8"	C1	4" H.M. HEAD	24/A-9	24/A-9	2/A-9	LUNCH ROOM TO TECHNICIAN AREA	TEMPERED SAFETY GLAZING
4	3'-0"	7'-0"	D1	TIMELY STEEL	12/A-9	7/A-9	3/A-9	RESTROOM TO RECEPTION/WAITING	NO SIGNAGE ON DOOR, SEE 20/A-10 FOR SIGNAGE DETAIL
5	NOT USED	7'-0"							
6	3'-0"	6'-10"	F1	2" H.M. HEAD	22/A-9	23/A-9	-	RECEPTION/WAITING TO EXTERIOR	PROVIDE PUSH/PANIC BAR - CAULK UNDER FRONT THRESHOLD @ FLOORING - TEMPERED SAFETY GLAZING.
7	3'-0"	6'-8"	B1	4" H.M. HEAD	18/A-9	18/A-9	14/A-9	RESTROOM TO TECHNICIAN AREA	NO SIGNAGE ON DOOR, SEE 20/A-10 FOR SIGNAGE DETAIL
8	3'-0"	7'-0"	D1	TIMELY STEEL	8/A-9	8/A-9	3/A-9	MANAGER TO SERVICE	
9	3'-0"	6'-8"	B1	4" H.M. HEAD	11/A-9	6/A-9	15/A-9	COMPRESSOR ROOM TO EXTERIOR	PROVIDE DRIP CAP AT TOP OF DOOR FRAME.
10	12'-0"	12'-0"	A1	MASONRY	10/A-9	5/A-9	1/A-9	TECHNICIAN AREA TO EXTERIOR	PROVIDE EXTENSION TRACKS TO LIFT DOORS TO 13'-6" A.F.F.

ALL HARDWARE BY SPECIFIED MANUFACTURER - NO SUBSTITUTIONS

HINGES- HAGER, MCKINNEY

DOOR CLOSERS- SARGENT, NORTON

B-1- HINGES BB1279 4-1/2 X 4 US26D X NIP

C-1- DOOR CLOSER EN350-P9 HEAVY DUTY

B-2- HINGES BB1279 4-1/2 X 4 US26D

DOOR SEAL- NATIONAL GUARD PRODUCTS, PEMKO

B-3- HINGES 1279 4-1/2 X 4 US26D

DS-1- WEATHERSTRIPPING 160VA ALUM.

DS-2- DOOR SWEEP 101VA ALUM.

DS-3- THRESHOLD 896V ALUM.

DS-4- DOOR BOTTOM SEAL 220NA ALUM.

DS-5- GARAGE DOOR WEATHER STRIPPING D45 X CLA 16 BL BRUSH TYPE

DOOR TRIM- TRIMCO, HAGER, SCHLAGE

L-5- PANIC/PUSH BAR (RIM EXIT DEVICE W/GLASSROOM FUNCTION MORTISE CYLINDER ESCUTCHEON) US26D

S-1- DOOR STOP 1233ES US26D

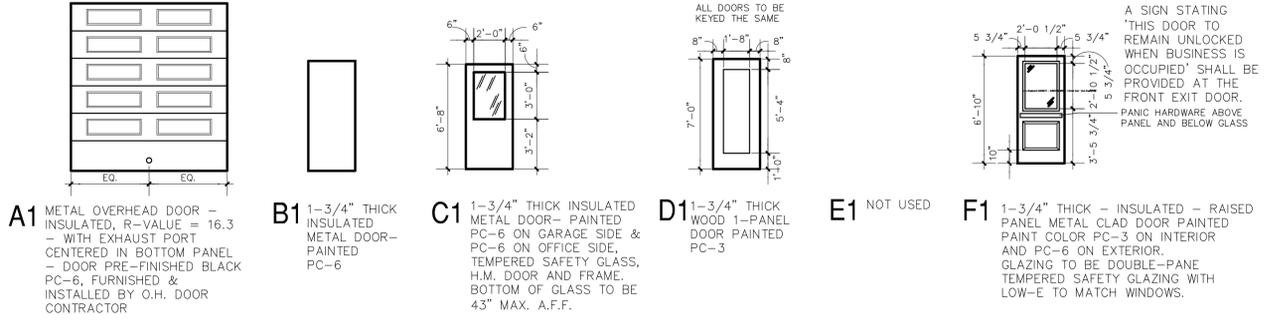
S-2- SLIDE BOLT 3920-4 US26D

S-3- HINGE PIN DOOR STOP 70A15

MISCELLANEOUS -

M-1- SECURITY BAR

M-1- SECURITY INC. MODEL NO. SB-01-0036 BAR MOUNTED TO WALL DURING BUSINESS HOURS, SEE A-8.



**4 HARDWARE SPECIFICATIONS**  
NO SCALE

**3 DOOR TYPES**  
NO SCALE

- DOOR HARDWARE SETS (RE: A-2 FOR HARDWARE SPECIFICATIONS) AAL HARDWARE FINISHES TO BE BRUSHED CHROME - US26D**
- METAL OVERHEAD DOOR INSULATED (EXTERIOR FROM TECHNICIAN AREA) STANDARD OVERHEAD DOOR HARDWARE WITH EXTENSION TRACKS TO LIFT DOOR 13'-6" ABOVE FINISHED FLOOR
    - 1 EACH- BRUSH TYPE WEATHER SEAL (DS-5)
  - INSULATED METAL DOOR (EXTERIOR FROM TECHNICIAN AREA)
    - 1-1/2 PAIRS- BUTTS (B-1)
    - 1 EACH- LOCK SET (L-6)
    - 1 EACH- CLOSER (C-1)
    - 1 EACH- SECURITY BAR (M-1)
    - 1 EACH- WEATHER SEAL (DS-1)
    - 1 EACH- DOOR SWEEP (DS-2)
    - 1 EACH- THRESHOLD (DS-3)
    - 1 EACH- DRIP CAP ON FRAME ABOVE DOOR
    - 1 EACH- FLOOR STOP (S-1)
    - 1 EACH- DOOR SECURITY PLATE
  - INSULATED METAL DOOR (TECHNICIAN AREA FROM LUNCH/WORK ROOM)
    - 1-1/2 PAIRS- BUTTS (B-2)
    - 1 EACH- LATCHSET (PASSAGE) (L-2)
    - 1 EACH- CLOSER (C-1)
    - 1 EACH- FLOOR MOUNTED STOP (S-1)
    - 1 EACH- DOOR SWEEP (DS-2)
    - 1 EACH- 3/8" BLACK FOAM DOOR SEAL AROUND JAMB.
  - WOOD DOOR (RECEPTION FROM OFFICE TOILET ROOM)
    - 1-1/2 PAIR- BUTTS (B-2)
    - 1 EACH- LOCKSET (PRIVACY) (L-3)
    - 1 EACH- DOOR SOUND SWEEP (DS-4)
    - 1 EACH- FLOOR MOUNTED STOP (S-1)
    - 1 EACH- CLOSER (C-1)
    - 1 EACH- TIMELY PRE-FINISHED STEEL FRAME
  - NOT USED
6. METAL CLAD DOOR INSULATED (EXTERIOR FROM RECEPTION/WAITING)
- 1-1/2 PAIR- BUTTS (B-1)
  - 1 EACH- PANIC BAR EXIT DEVICE (L-5) (PANIC BAR TO BE BELOW GLASS IN DOOR AND ABOVE PANEL AT BOTTOM OF DOOR)
  - 1 EACH- CLOSER (C-1)
  - 1 EACH- WEATHER SEAL (DS-1)
  - 1 EACH- THRESHOLD (DS-3)
  - 1 EACH- DOOR SWEEP (DS-2)
  - 1 EACH- DOOR SECURITY PLATE
7. INSULATED METAL DOOR (TECHNICIAN AREA FROM TECH TOILET)
- 1-1/2 PAIR- BUTTS (B-2)
  - 1 EACH- CLOSER (C-1)
  - 1 EACH- LOCK SET (PRIVACY) (L-3)
  - 1 EACH- DOOR SWEEP (DS-2)
  - 1 EACH- WALL MOUNTED STOP (S-3)
  - 1 EACH- 3/8" BLACK FOAM DOOR SEAL AROUND JAMB.
8. WOOD DOOR (MANAGER TO SERVICE)
- 1-1/2 PAIR- BUTTS (B-2)
  - 1 EACH- LOCKSET (L-4)
  - 1 EACH- DOOR SOUND SWEEP (DS-4)
  - 1 EACH- FLOOR MOUNTED STOP (S-1)
  - NO CLOSER
  - 1 EACH- TIMELY PRE-FINISHED STEEL FRAME
9. HOLLOW METAL DOOR (EXTERIOR FROM COMPRESSOR ROOM)
- 1-1/2 PAIRS- BUTTS (B-1)
  - 1 EACH- LOCKSET (L-1)
  - 1 EACH- WEATHER SEAL (DS-1)
  - 1 EACH- DOOR SWEEP (DS-2)
  - 1 EACH- THRESHOLD (DS-3)
  - 1 EACH- DRIP CAP ON FRAME ABOVE DOOR
  - 1 EACH- DOOR SECURITY PLATE
  - 1 EACH- FLOOR MOUNTED STOP (S-1)

**OVERHEAD DOOR NOTE:**  
ALL OVERHEAD DOORS TO BE PURCHASED, BY CBAC, FROM CBA VENDOR, INSTALLED BY VENDOR.  
GC TO COORDINATE INSTALLATION.  
GC TO CALL OVERHEAD DOOR VENDOR'S CONTACT, INFORMATION PROVIDED BY CBAC, TO PROVIDE FIELD MEASUREMENTS TO THE INSTALLER, ONCE ALL ROUGH OPENINGS ARE FRAMED UP. FOLLOW UP WITH CBA PM ONCE PROVIDED.  
GC TO VERIFY VENDOR WITH CBA VENDOR LIST.

**DOOR KEY NOTE:**  
G.C. TO REKEY THE BUILDING WITH A SINGLE KEY FOR ALL EXTERIOR DOORS AND A SEPARATE KEY FOR THE MANAGER'S OFFICE TWO WEEKS PRIOR TO STORE OPENING.

**DOOR & HARDWARE NOTE:**  
DOORS, FRAMES AND HARDWARE TO BE PURCHASED THROUGH CBA'S PREFERRED VENDOR.  
GC TO VERIFY VENDOR'S INFO WITH CBA VENDOR LIST.

A SIGN STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUSINESS IS OCCUPIED" SHALL BE PROVIDED AT THE FRONT EXIT DOOR. PANIC HARDWARE ABOVE PANEL AND BELOW GLASS

1-3/4" THICK - INSULATED - RAISED PANEL METAL CLAD DOOR PAINTED PAINT COLOR PC-3 ON INTERIOR AND PC-6 ON EXTERIOR. GLAZING TO BE DOUBLE-PANE TEMPERED SAFETY GLAZING WITH LOW-E TO MATCH WINDOWS.

06/26/25

NO.	REVISIONS	DATE



PROJECT FOR:  
**CHRISTIAN BROTHERS AUTOMOTIVE**  
NEW BERLIN, WI

DRAWN BY: JM  
CHECKED BY: JM  
JOB #: 25082  
DATE: 06/26/25  
**FLOOR PLAN AND SCHEDULES**

**A-2**

06/20/25

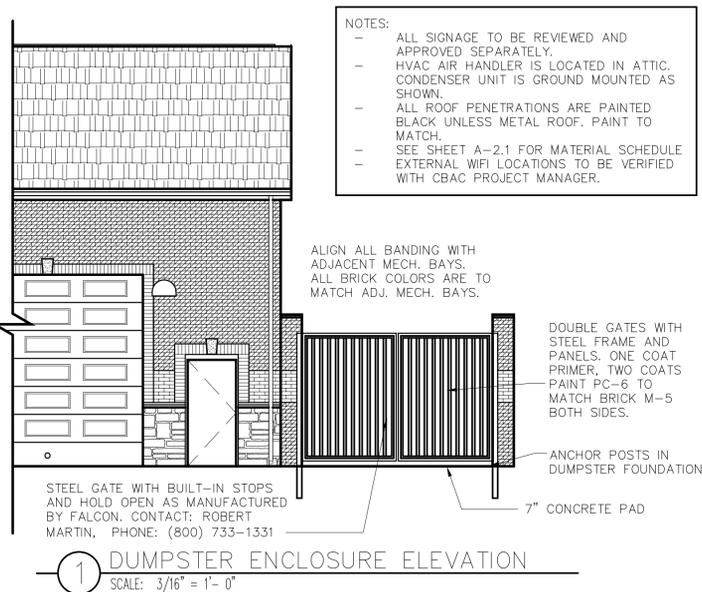
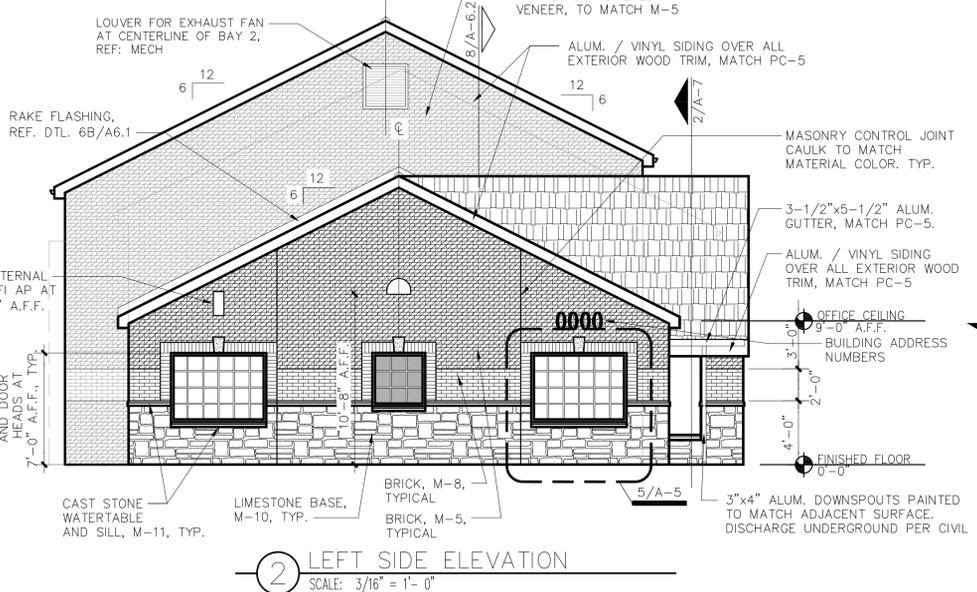
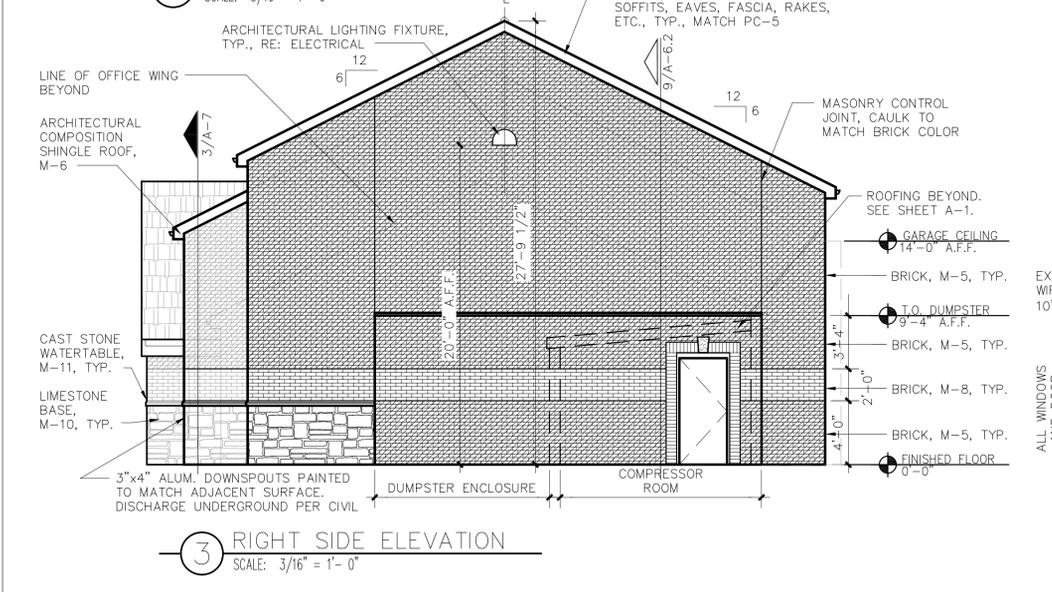
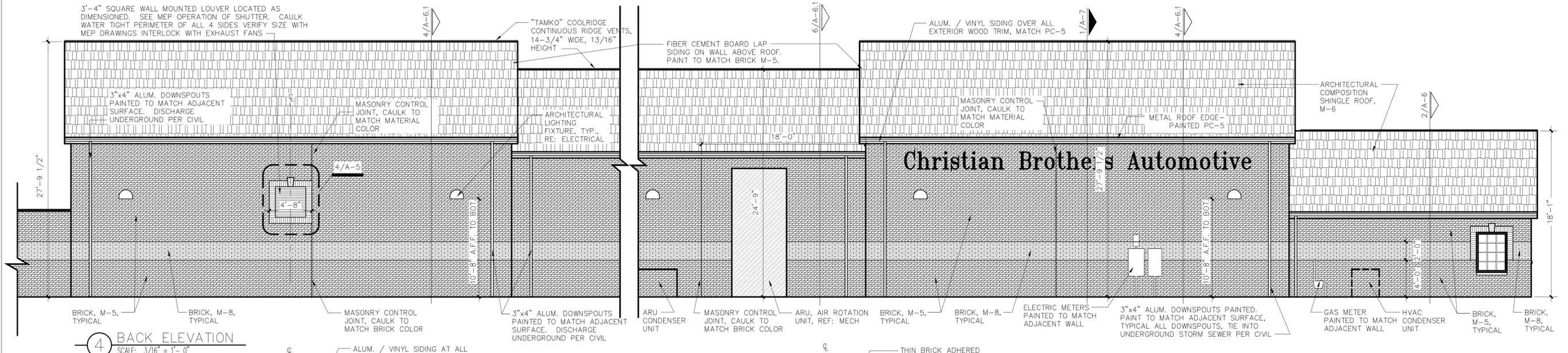
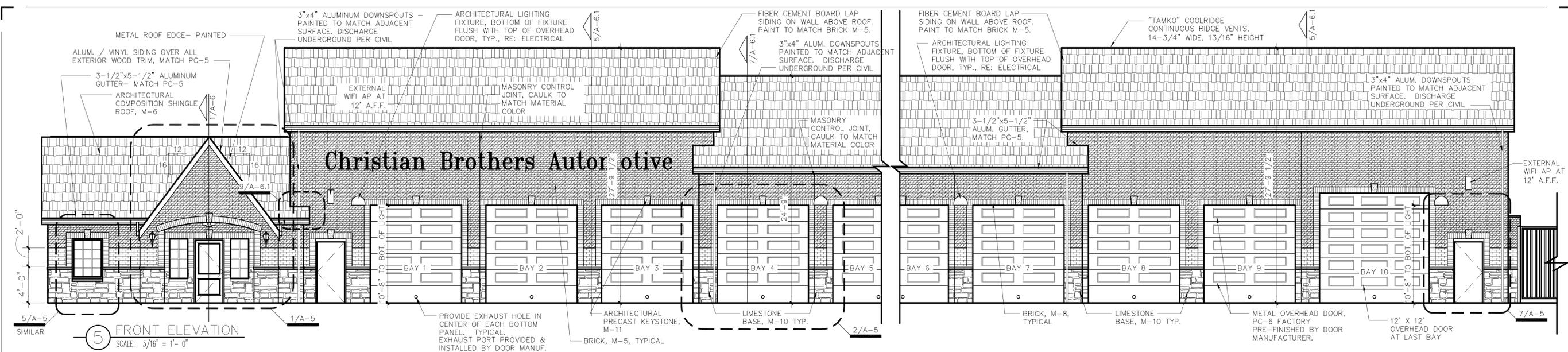
NO.	REVISIONS	DATE



PROJECT FOR:  
**CHRISTIAN BROTHERS  
 AUTOMOTIVE**  
 NEW BERLIN, WI

DRAWN BY: JM  
 CHECKED BY: JM  
 JOB #: 25082  
 DATE: 06/20/25  
**EXTERIOR  
 ELEVATIONS**

**A-4**



**NOTES:**

- ALL SIGNAGE TO BE REVIEWED AND APPROVED SEPARATELY.
- HVAC AIR HANDLER IS LOCATED IN ATTIC. CONDENSER UNIT IS GROUND MOUNTED AS SHOWN.
- ALL ROOF PENETRATIONS ARE PAINTED BLACK UNLESS METAL ROOF. PAINT TO MATCH.
- SEE SHEET A-2.1 FOR MATERIAL SCHEDULE
- EXTERNAL WIFI LOCATIONS TO BE VERIFIED WITH CBAC PROJECT MANAGER.

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M-5	BRICK	ACME BRICK CO., 8" NOM. 2 1/4" MODULAR BRICK, COLOR: BURGANDY, MORTAR COLOR "WHITE"
M-6	COMPOSITION SHINGLE ROOF	CERTAINTED LANDMARK 30 AR, COLOR: "MOIRE BLACK"
M-8	BRICK	ACME BRICK CO., 8" NOM. 2 1/4" MODULAR BRICK, COLOR: GLACIER WHITE, MORTAR COLOR "WHITE"
M-10	LIMESTONE	1 1/2" NATURAL LIMESTONE VENEER, SALADO QUARRY. MORTAR COLOR "WHITE"
M-11	CAST STONE	PRE-CAST STONE WATERTABLE AND SILL, COLOR: WHITE, SEE A-5 FOR PROFILES



Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	G1		2	1W-E250LED-1RND35T5-MDL03-FU/50DW/BK	1W-E250LED-1RND35T5-MDL03-FU/50DW/BK	26 LED's	1	2505	1	30.8
	F		6	ISW-SAID-740-U-SL4	IMPACT ELITE LED WEDGE LUMINAIRE (1) 70 CRI, 4000K, 800mA LIGHTSQUARE WITH 16 LEDS AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS		16	345	1	45.2
	XT		6	XTOR1B	CROSSTOUR 12W WALL MOUNT LED	EATON LED 5000K	1	1417	1	12.2
	L		1	PR810D010 - PR8M12MDMB - 4000K	HALO 8" ROUND DOWNLIGHT, MEDIUM LENS, MATTE BLACK FINISH	(1) HIGH LUMEN LED 80CRI / 4000K CCT	1	1134	1	10.5
	B		2	GLEON-SA2C-740-U-SL2-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE II SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD		32	374	1	113
	D		1	GLEON-SA4C-740-U-14FT-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS WITH HOUSE SIDE SHIELD		64	316	1	225
	I		2	GLEON-SA1A-740-U-SLL-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 4000K, 615mA LIGHTSQUARE WITH 16 LEDS AND SPILL LIGHT ELIMINATOR LEFT OPTICS WITH HOUSE SIDE SHIELD		16	226	1	34

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVE PATHS AND PARKING SPACES		2.6 fc	8.8 fc	1.0 fc	8.8:1	2.6:1
PROPERTY LINE		0.1 fc	0.9 fc	0.0 fc	N/A	N/A

**Stemberg Lighting**  
G1

**McGraw-Edison Impact Elite LED**  
Wall Mount Luminaire

**McGraw-Edison GLEON Galleon Area / Site Luminaire**

**McGraw-Edison GLEON Galleon**  
Area / Site Luminaire

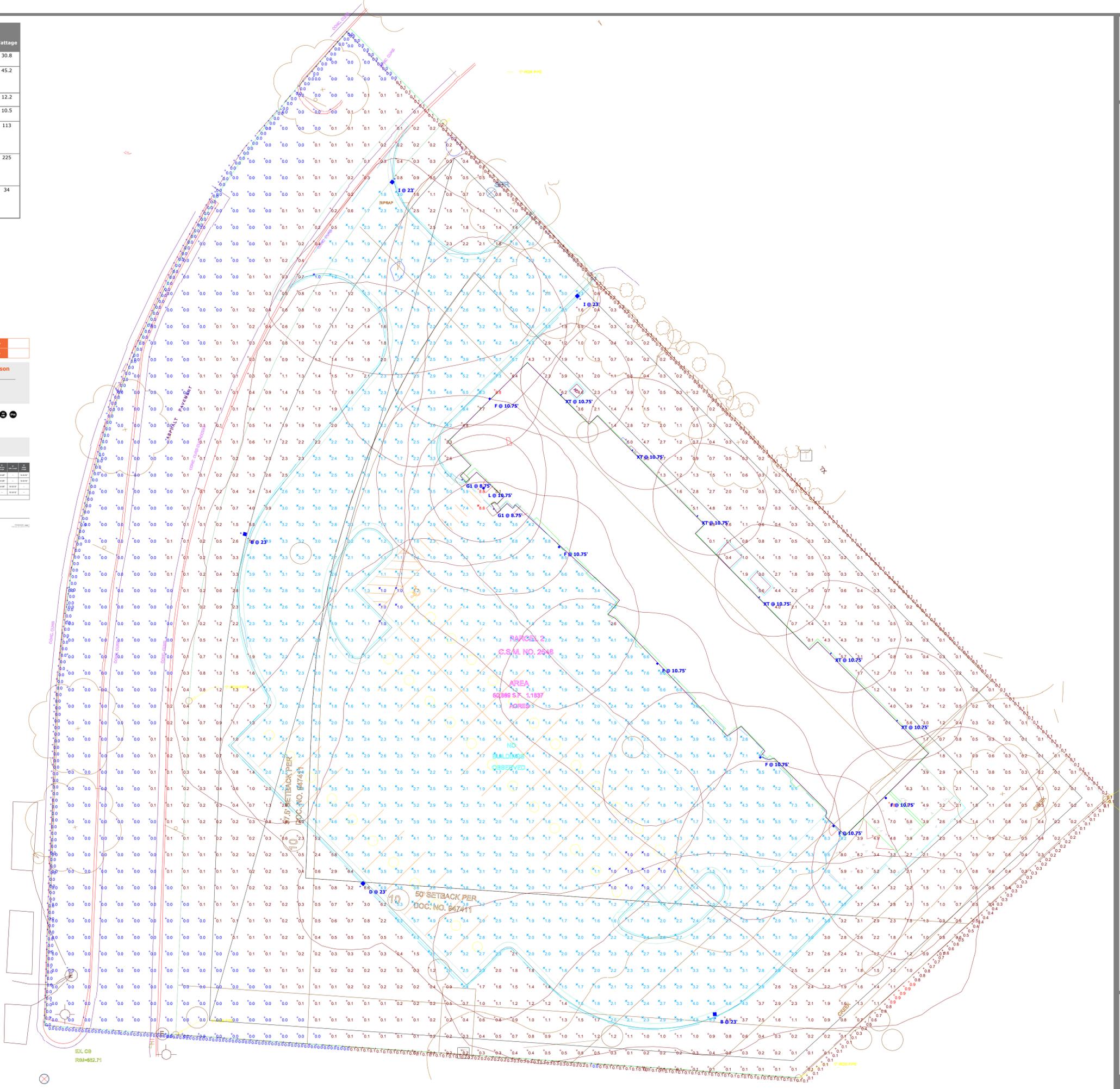
**McGraw-Edison HALO Commercial**  
Recessed Downlight

**Lumark XTOR1B**  
CROSSTOUR LED

**McGraw-Edison HALO Commercial**  
Recessed Downlight

**McGraw-Edison GLEON Galleon**  
Area / Site Luminaire

**McGraw-Edison GLEON Galleon**  
Area / Site Luminaire



EXL CB  
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