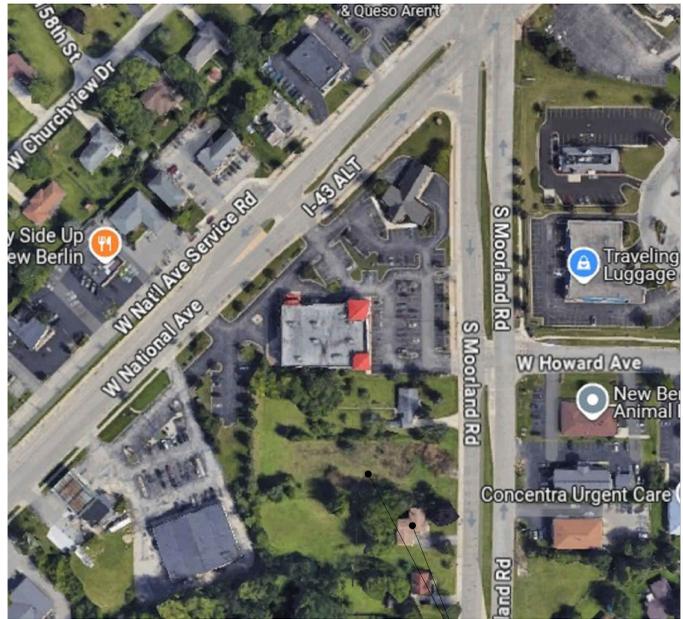


A New Building for: Shorewest Realtors

3885 South Moorland Road
City of New Berlin, WI 53151
(Waukesha County)

VICINITY MAP



PROJECT LOCATION
NORTH

ABBREVIATION KEY

A/C	AIR CONDITIONING	EJ	EXPANSION JOINT(S)	INT	INTERIOR	REC	RECESSED
ACT	ACOUSTIC CEILING TILE	ELEC	ELECTRICAL	JNT	JOINT	REG	REGULAR
ADJ	ADJUSTABLE OR ADJACENT	ELEV	ELEVATION OR ELEVATOR	JST	JOIST	REIN	REINFORCE
AF	ABOVE FINISH FLOOR	EQ	EQUAL EQUIPMENT	LAM	LAMINATE	RO	ROUGH OPENING (HYAC)
ALT	ALTERNATE	EQUIP	EQUIVALENT	LAV	LAVATORY	RTU	ROOF TOP UNIT
ALUM	ALUMINUM	EQUIV	EQUIVALENT	LVL	LAMINATED LUMBER	SC	SOLID CORE
APPROX	APPROXIMATE	ETR	EXISTING TO REMAIN	MATL	MATERIAL	SECT	SECTION
ARCH	ARCHITECTURAL	EXP	EXPANSION OR EXPOSED	MAX	MAXIMUM	SIM	SIMILAR
#	BOARD	EXST	EXISTING	MDF	MEDIUM-DENSITY FIBERBOARD	SPEC	SPECIFICATION
BD	BUILDING	EXT	EXTERIOR	MECH	MECHANICAL	SQ.FT. #	SQUARE FOOT
B/O	BOTTOM OF	FDN	FOUNDATION	MED	MEDIUM	SQ-IN	SQUARE INCH
BRG	BEARING	FF	FINISH FLOOR	MFG	MANUFACTURER	SS	STAINLESS STEEL
CB	CEMENT BOARD	FIN	FINISH	MIMP	MISCELLANEOUS	SM	SOLID SURFACE MATERIAL
CFB	COLD FORMED STEEL	FLR	FLOOR	MO	MASONRY OPENING	STL	STEEL
CJ	CONSTRUCTION JOINT(S)	FRP	FIBERGLASS REINFORCED	MR GUB	MOISTURE RESISTANT GUEB	STN	STAIN
CLG	CEILING	FRT	FLASTIC	MTL	METAL	STRUCT	STRUCTURAL
CLST	CLOSET	FRS	FIRE RESISTANCE	MI	MICROGLASS	SV	SHEET VINYL
CMU	CONCRETE MASONRY UNIT	FTG	FOOTING	NIC	NOT IN CONTRACT	TBB	TILE BACKER BOARD
COL	COLUMN	FUR	FURNACE	NO *	NUMBER	TBD	TO BE DETERMINED
CONC	CONCRETE	GALV	GALVANIZED	NOM	NOMINAL	TB	TOP & BOTTOM
CONC	CONSTRUCTION	GA	GAUGE	NOS	NOT TO SCALE	TEL	TELEPHONE
CONT	CONTINUOUS	GC	GENERAL CONTRACTOR	OV	OVERALL	T&G	TONGUE & GROOVE
CPET	COMMON PATH OF EGRESS TRAVEL	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	OC	ON CENTER	TJ	T-JOIST
CPT	CARPET	GULLAM	GLUE LAMINATED TIMBER	OHD	OVER-HEAD DOOR	T/O	TOP OF
CT	CERAMIC TILE	GRT	GROUT	OPP	OPPOSITE	TYP	TYPICAL
CTB	CERAMIC TILE BASE	GUB	Gypsum WALL BOARD	OPT	OPTIONAL	UC	UNDER COUNTER
DEMO	DEMOLITION	HCB	HOLLOW CORE	PERF	PERFORATED	UNO	UNLESS NOTED OTHERWISE
DIA. #	DIAMETER	HCR	HEADER	PL	PLATE	VB	VINYL BASE
DM	DIMENSION	HDR	HARDWARE	PLAM	PLASTIC LAMINATE	VBC	VINYL BASE COVE
DIV	DIVISION	HQU	HEIGHT	FLYWOOD	FLYWOOD	VBS	VINYL BASE STRAIGHT
DN	DOWN	HGT	HEIGHT	FRFIN	FRESHFINISHED	VCT	VINYL COMPOSITION TILE
DS	DOWNSPOUT	HM	HOLLOW METAL	FSF	FOUNDS PER SQ FT	VERT	VERTICAL
DW	DISHWASHER	HRZ	HORIZONTAL	FBI	FOUNDS PER SQ IN	V/F	VERIFY IN FIELD
DWGS	DRAWINGS	HUR	HOUR	FT	FOOT	W	WITH
EA	EACH	HYAC	HEAT VENT & AIR CONDITIONING	FR	FRESH PRESERVATIVE TREATED	WB	WOOD BASE
EATD	EXIT ACCESS TRAVEL DISTANCE	IHM	INSULATED HOLLOW METAL	PVC	POLYVINYLCHLORIDE	WD	WOOD
EF	EPOXY FLOORING	ITB	INSULATED TILE BASE	QT	QUARRY TILE	WH	WATER HEATER
EIFS	EXTERIOR INSULATION FINISH SYSTEM	ILO	IN LIEU OF INSULATION OR INSULATE	QTB	QUARRY TILE BASE	WIC	WALK-IN CLOSET
		INSUL	INSULATION OR INSULATE	R	RADIUS	W/O	WITHOUT
				RD	ROOF DRAIN	W/F	WELDED WIRE FABRIC

PARTICIPANTS

OWNER: Shorewest Realtors 11450 West North Avenue Brookfield, WI 53045 Tele: (262) 789-6201 Fax: N/A Contact: John P Horning E-mail: jphorning@shorewest.com	TENANT: Shorewest Realtors 3885 South Moorland Road New Berlin, WI 53151 Tele: (262) 784-8466 Fax: N/A Contact: John P Horning E-mail: jphorning@shorewest.com
ARCHITECT: Perspective Design, Inc. 11525 W. North Avenue Wauwatosa, WI 53226 Tele: (414) 302-1780 x 201 Fax: (414) 302-1781 Contact: William Conine - Project Manager E-mail: wconine@pdi-arch.com	
GENERAL CONTRACTOR / CONSTRUCTION MANAGER: T.B.D.	
CIVIL ENGINEER: JSD Professional Services, Inc. 1238 N1610 Busse Rd, Suite 100 Waukesha, WI 53186 Tele: (262) 513-0666 Fax: (414) 443-1311 Contact: Christopher Jackson E-mail: christopher.jackson@jdsinc.com	
STRUCTURAL ENGINEER: Pierce Engineers 181 North Broadway Milwaukee, WI 53202 Tele: (414) 278-6020 Fax: (414) 278-6061 Contact: Eric Felle E-mail: efelle@pierceengineers.com Direct: (414) 988-7464	
LANDSCAPE ARCHITECT / DESIGNER: InSite Landscape Design, Inc. 11525 W. North Avenue Wauwatosa, WI 53226 Tele: (414) 476-1204 Fax: N/A Contact: Michael C. Davis E-mail: mdavis@insitelandscapes.com	INTERIOR DESIGNER: B&J Inc. 1222 N630 Cheaney Road Waukesha, WI 53186 Tele: (262) 955-6400 Fax: N/A Contact: Kate Venturini E-mail: kventurini@buildingservice.com Cell: (262) 705-5638
INTERIOR LIGHTING DESIGNER: Lighting Elements, LLC. 25718 Fortsmouth Road Wind Lake, WI 53185 Tele: N/A Fax: N/A Contact: Tracie Losch E-mail: tlo@lightingelements.design Cell: (414) 975-9394	MECHANICAL ENGINEER/DESIGN BUILD: T.B.D.
ELECTRICAL ENGINEER/DESIGN BUILD: T.B.D.	PLUMBING ENGINEER/DESIGN BUILD: T.B.D.

DRAWING INDEX

GENERAL: T1 TITLE SHEET G11 BUILDING RENDERING 1 OF 1 SURVEY
CIVIL: C10 DEMO PLAN C20 SITE PLAN C30 GRADING PLAN C40 UTILITY PLAN
LANDSCAPE: L6P11 PROP. LANDSCAPE PLAN L6P12 PROP. TREE MITIGATION PLAN L6P13 PROP. LANDSCAPE PLAN PH011 PROP. PHOTOMETRIC LIGHT PLAN PH012 PROP. BUILDING MOUNTED LIGHTS FIXTURES PH013 PROP. SITE AREA LIGHT FIXTURES
ARCHITECTURAL: 6P11 ARCHITECTURAL SITE PLAN A11 1ST FLR SHELL FLOOR PLAN A12 1ST FLR DIMENSIONED FLOOR PLAN A13 1ST FLR FFE FLOOR PLAN A14 1ST FLR REFLECTED CEILING PLAN A15 2ND LEVEL FLOOR PLAN A16 2ND LEVEL ROOF PLAN A20 BUILDING ELEVATIONS WITH SAMPLES A21 BUILDING ELEVATIONS A22 BUILDING ELEVATIONS A23 BUILDING ELEVATIONS A24 BUILDING ELEVATIONS

CODE REFERENCE

BUILDING CODE:
WI COMMERCIAL BUILDING CODE ADOPTION OF THE INTERNATIONAL CODES SUBJECT TO THE MODIFICATION SPECIFIED BY WI DEPARTMENT OF SAFETY & PROFESSIONAL SERVICES, CHAPTER 361-366
• INTERNATIONAL BUILDING CODE - 2015
• INTERNATIONAL ENERGY CONSERVATION CODE - 2015
• COMCHECK (LATEST WEB RELEASE)
• INTERNATIONAL MECHANICAL CODE - 2015
• INTERNATIONAL FUEL GAS CODE - 2015
• INTERNATIONAL EXISTING BUILDING CODE - 2015

ACCESSIBILITY CODES:
• INTERNATIONAL BUILDING CODE - 2015, CHAPTER 11
• ICC A117.1 - 2009
• D.O.J. - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

MECHANICAL CODE:
• INTERNATIONAL MECHANICAL CODE - 2015
• INTERNATIONAL FUEL GAS CODE - 2015
• WI SAFETY & PROFESSIONAL SERVICES, CHAPTERS 364 & 369

ELECTRICAL CODE:
• INTERNATIONAL BUILDING CODE - 2015, CHAPTER 21
• WI SAFETY & PROFESSIONAL SERVICES, CHAPTER 316
• REFERENCE NATIONAL ELECTRIC CODE
• NFPA 70 - NATIONAL ELECTRIC CODE (NEC) - 2017
SUBJECT TO THE CHANGES, ADDITIONS OR OMISSIONS SPECIFIED IN SUB CHAPTER II OF 919 CHAPTER 316

PLUMBING CODE:
• INTERNATIONAL BUILDING CODE - 2015, CHAPTER 23
• WI SAFETY & PROFESSIONAL SERVICES, CHAPTER 381-387

FIRE PREVENTION:
• WI SAFETY & PROFESSIONAL SERVICES, CHAPTER 314
• REFERENCE NFPA
• NFPA 101 - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101 - 2015 (AS REFERENCED BY THE IBC - 2015)

CIVIL ENGINEER:
CIVIL ENGINEER IS RESPONSIBLE FOR ALL FEDERAL, STATE AND LOCAL CODES RELATED TO STORM WATER MANAGEMENT, EROSION CONTROL, SOIL DISTURBANCE, AND NATURAL RESOURCE PROTECTION.
• THESE DOCUMENTS DENOTE AN EGRESS PLAN SHOWING THE PATH WHERE EXIT LIGHTS & EMERGENCY EGRESS LIGHTING MAY BE REQUIRED.
• FOR NEW BUILDINGS, ADDITIONS OR ALTERATIONS THAT CREATE NEW EGRESS PATHS, THE ELECTRICAL DESIGNER SHALL PROVIDE, AT THE PROJECT SITE DURING CONSTRUCTION, EMERGENCY LIGHTING CUT-SHEETS, CALCULATIONS, PHOTOMETRICS OR OTHER MEANS TO SHOW COMPLIANCE WITH APPLICABLE CODES.

LIGHTING & ENERGY CONSERVATION:
ELECTRICAL DESIGNER SHALL PREPARE A LIGHTING PLAN AND PROVIDE, AT THE PROJECT SITE DURING CONSTRUCTION, LIGHTING PLANS AS WELL AS FIXTURE CUT-SHEETS AND ENERGY CALCULATIONS TO SHOW COMPLIANCE WITH THE ENERGY CODE.

BUILDING DATA

PROJECT DESCRIPTION: ZONING CODE: B-2 (GENERAL RETAIL SALES AND SERVICE DISTRICT) BUILDING CODE: IBC/USPS 361-366 CLASSIFICATION OF WORK: NEW CONSTRUCTION TYPE OF WORK: LEVEL 3	USE & OCCUPANCY: MAJOR USE: (B) BUSINESS INCIDENTAL OCCUPANCY: (B-1) STORAGE
GENERAL BUILDING DATA: APPROX HEIGHT: 40'-0" GROSS BUILDING AREA: 28000 SQ FT NUMBER OF STORES: 2 STORES NUMBER OF FLOORS: 2 FLOOR	ALLOWED ACTUAL: 30'-0-1/2" 12150 SQ FT 1 STOREY 1 FLOOR
TYPE OF CONSTRUCTION: FIRE RESISTANCE RATED CORNER: NONE EXTERIOR WALL OPENINGS: NONE NORTH (6" FIRE SEP. DIST.): 100% MAX EAST (48" FIRE SEP. DIST.): 100% MAX WEST (24" FIRE SEP. DIST.): 100% MAX (OPENINGS ARE NOT LIMITED IN EXTERIOR WALLS PER IBC 705.4)	REQUIRED ACTUAL: NONE NONE LESS THAN 100% LESS THAN 100% LESS THAN 100%
FIRE PROTECTION SYSTEMS: AUTOMATIC SPRINKLER: NOT REQUIRED FIRE ALARM: NOT REQUIRED SMOKE ALARM & DETECTION: NOT REQUIRED	
MEANS OF EGRESS & GROSS BUILDING AREA: TOTAL OCCUPANT LOAD: 200 TOTAL EGRESS WIDTH: 1/4" TOTAL STAIRWAY WIDTH: N/A COMMON PATH OF TRAVEL: 75' EXIT TRAVEL DISTANCE: 200' MAX	REQUIRED ACTUAL: REQUIRED 1/4" N/A LESS THAN 75' LESS THAN 200'
OCCUPANT LOAD DETERMINING FIXTURES:	
PLUMBING FIXTURES:	REQUIRED ACTUAL:
TILE WATERCLOSETS: 2	1
URINALS: 0	1
LAVATORIES: 1	1
RETAIL WATERCLOSETS: 2	2
LAVATORIES: 2	2
DRINKING FOUNTAINS:	REQUIRED ACTUAL:
OTHER (SERVICE FREE SINKS): 1	0
	1

NOT FOR CONSTRUCTION

PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY

DO NOT SCALE THESE DRAWINGS

NEW BUILDING FOR:
Shorewest Realtors
3885 South Moorland Road
New Berlin, WI 53151

PERSPECTIVE DESIGN, INC.
11525 W. North Avenue
Wauwatosa, WI 53226
Tel: (414) 302-1780 Fax: (414) 302-1781

DATE:	06/27/25
SCALE:	NONE
DRAWN:	WHC
JOB:	25-008
SHEET:	T1

THIS BOX IS 12" x 12"



BUILDING RENDERING
SCALE: N/A 1

NOT FOR CONSTRUCTION

PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY

DO NOT SCALE THESE DRAWINGS

FILE SIZE: 19811 x 307 x 464 SHEET

COPYRIGHT PERSPECTIVE DESIGN, INC. 2025. ALL RIGHTS RESERVED. THIS DRAWING IS NOT TO BE REPRODUCED, CHANGED, COPIED OR ASSIGNED TO ANY THIRD PARTY IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF PERSPECTIVE DESIGN, INC. THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGES, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS OR DATA WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

Project: New Building for: Shorewest Realtors 3885 South Moorland Road New Berlin, WI 53151		REV. # REV. DATE DESCRIPTION - 06/17/25 PRE-APPLICATION MEETING - 06/27/25 PLAN COMMISSION SUBMISSION (06/13/25)	REV. BY: MHC MHC
DRAWING TITLE: BUILDING RENDERING	DATE: 06/27/25 SCALE: AS NOTED DRAWN: WHC JOB: 25-008 SHEET:	THIS BOX IS 12" x 12"	DESCRIPTION
		G1.1	

Legal description:

PARCEL A:

That part of the Southeast 1/4 of Section 15, Township 6 North, Range 20 East, Town of New Berlin (now City of New Berlin), Waukesha County, Wisconsin, bounded and described as follows: Commencing at a point in the East line of the said 1/4 Section, which is North 01 degrees 50 minutes East, 103 feet to the Southeast corner of the said 1/4 Section, running thence West and parallel to the South line of the said 1/4 Section, 371.30 feet to a point; thence North 102.89 feet to a point; thence East 374.59 feet to a point in the East line of the said 1/4 Section; and thence South 01 degrees 50 minutes West along the East line of the said 1/4 Section, 103.00 feet to the place of beginning, EXCEPTING THEREFROM that portion conveyed to City of New Berlin, recorded October 30, 1962, as Document No. 576306.

Parcel consists of 33,576 square feet or 0.77079 acres of land, more or less.

Tax ID No. NBC 1212.984.001

PARCEL B:

Commencing at the Southeast Corner of the said 1/4 Section, running thence West along the South line of the said 1/4 section 368 feet to a point; thence North 103 to a point; thence East and parallel to the South line of said 1/4 section 371.30 feet to a point in the East line of the said 1/4 Section; and thence South 1°50' West along the East line of the said 1/4 Section 103 feet to the place of beginning.

Except the East 33 feet of said property conveyed for highway purposes.

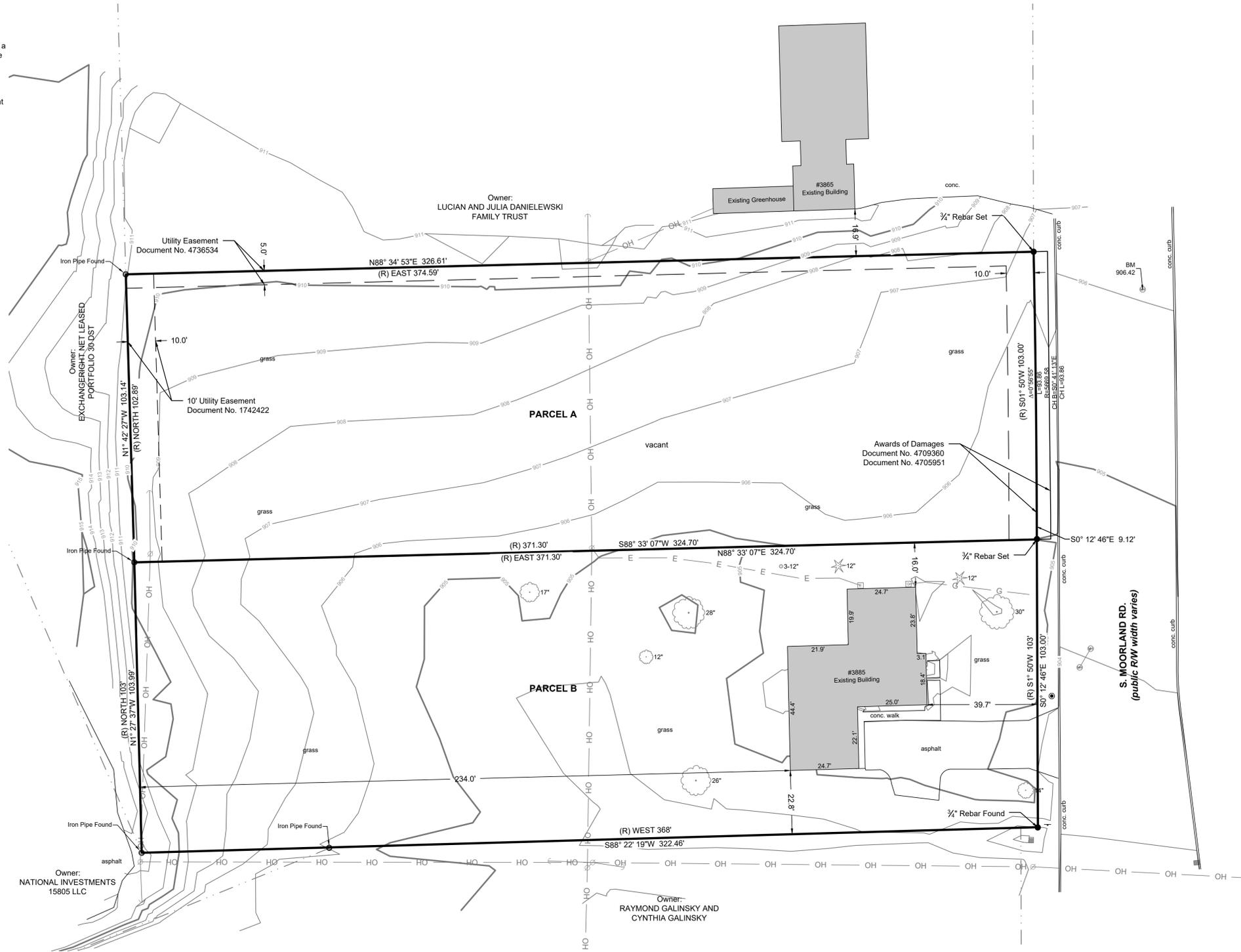
Except land conveyed in the instrument dated October 27, 1978 and recorded on November 6, 1978 in Reel 332, Image 209, as Document No. 1071815.

Parcel consists of 33,485 square feet or 0.76871 acres of land, more or less.

Tax ID No. NBC 1212.983.001

GENERAL NOTES:

- The underground utility information shown on this drawing is based on field locations and/or records furnished by municipalities and utility companies, the location and accuracy of which cannot be guaranteed. There may be additional underground utility installations within the project area that are not shown.
- Bearings are referenced to the Wisconsin State Plane Coordinate System, South Zone, NAD 1983.
- Parcel falls within **Zone X, Areas determined to be outside the 0.2% annual chance floodplain**, per FEMA FIRM Panel 55133C0351H, effective date of 10/19/2023.
- Site contains a total of 0 parking spaces.
- No evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
- No proposed changes in street right of way lines made available to the surveyor by the controlling jurisdiction. No evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- (R) Indicates recorded as bearing and or distances.



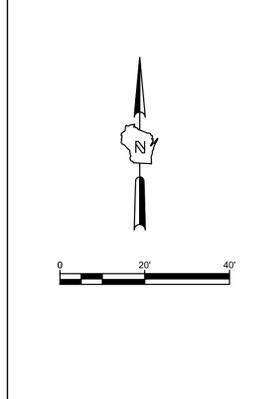
THE SIGMA GROUP
 Single Source. Sound Solutions.
 www.thesigmagroup.com
 1300 West Canal Street
 Milwaukee, WI 53233
 Phone: 414-643-4200
 Fax: 414-643-4210

LEGEND

---	SECTION 1/4 SECTION LINE
---	PROPERTY LINE
---	EASEMENT
---	CHAIN LINK FENCE
---	GUARD RAIL
---	METAL FENCE
---	WOOD FENCE
---	TREE LINE
---	OVERHEAD UTILITY LINE
---	ELECTRIC
---	TELEPHONE
---	FIBER OPTIC
---	CABLE TV
---	SANITARY SEWER
---	FORCE MAIN
---	MILWAUKEE INTERCEPTOR SEWER
---	COMBINED SANITARY & STORM SEWER
---	STORM SEWER
---	WATER MAIN
---	GAS
---	WETLAND
---	EXISTING MAJOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	IRON PIPE FOUNDSET
---	REBAR FOUNDSET
---	CHISELED CROSS FOUNDSET
---	PR NAIL FOUNDSET
---	SIGNAL
---	MONUMENT
---	BENCHMARK
---	MONUMENT
---	DECEDEOUS TREE (Diameter)
---	CONIFEROUS TREE (Diameter)
---	BUSH
---	POST
---	SOIL BORING
---	MONITORING WELL
---	CULVERT END
---	LIGHT POLE
---	PARKING METER
---	FLAG POLE
---	TRAFFIC SIGNAL

3885 & 3875 S MOORLAND RD.
 NEW BERLIN, WISCONSIN

PLAT OF SURVEY



NO. REVISION	DATE BY
DRAWN BY:	NGC
DATE:	03/03/2025
PROJECT NO:	23803
CHECKED BY:	KAS
SHEET NO.:	

I, Kevin A. Slotke, Professional Land Surveyor, certify that I have surveyed the above described property, to the best of my knowledge and ability, and that the map shown hereon is a true representation thereof and shows the size and location of the property, it's exterior boundaries, the location of all visible structures thereon, boundary fences, apparent easements, roadways and encroachments, if any.



Date: 3/03/2025



CREATE THE VISION TELL THE STORY

jsdinc.com

MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSIE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53186
P. 262.513.0666

CLIENT:
SHOREWEST REALTORS

CLIENT ADDRESS:
**3885 SOUTH MOORLAND ROAD
NEW BERLIN, WI, 53151**

PROJECT:
SHOREWEST REALTORS

PROJECT LOCATION:
**3885 SOUTH MOORLAND ROAD
NEW BERLIN, WAUKESHA
WI, 53151**

DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGERS HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVEGROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR/SIDEDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE, AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/SIDEDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION-RELATED DIRT, DUST, AND DEBRIS.
3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. STUMPS MAY BE GROUND TO PROPOSED SUBGRADE IN GRASSED AREAS ONLY UNLESS DIRECTED BY ENGINEER.
4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
5. ABANDONED/REMOVED ITEMS SHALL BE LEGALLY DISPOSED OF OFF-SITE UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO REPLACE ALL SIDEWALK, ASPHALT, AND CURB AND GUTTER ABUTTING THE PROPERTIES THAT WERE DAMAGED BY THE CONSTRUCTION.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO:
 - 7.1. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - 7.2. VERIFY UTILITY ELEVATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - 7.3. NOTIFY ALL UTILITIES OWNERS PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - 7.4. NOTIFY THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
8. ANY UTILITIES THAT ARE DAMAGED BY THE CONTRACTORS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
9. CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL/ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
10. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED JURISDICTION'S RECYCLING PLAN.
11. ALL EXISTING UTILITIES SHALL BE FIELD LOCATED AND CLEARLY MARKED BY CONTRACTOR PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING UTILITY LINE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING UTILITY LINE OPENINGS (ULO) TO CONFIRM LOCATIONS OR ELEVATIONS, AS REQUESTED BY THE ENGINEER.
12. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE STANDARD SPECIFICATIONS AND JURISDICTIONAL SPECIFICATIONS.
13. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENTS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST, AND DEBRIS.
14. CONTRACTOR SHALL REMOVE EXISTING UTILITY PIPE OR ABANDON IN PLACE PER CITY & STATE REQUIREMENTS OR PROVIDE PIPE BACKFILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".



LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- o — DEMOLITION - REMOVAL OF ON-SITE CURB SURFACES AND BASE COURSE
- ▨ DEMOLITION - REMOVAL OF ASPHALT SURFACES
- ▨ DEMOLITION - REMOVAL OF CONCRETE SURFACES
- ▨ DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
- ⊗ TREE REMOVAL
- ⊗ SHRUB REMOVAL



PLAN MODIFICATIONS:

#	Date	Description
1	06/17/2025	Pre-Application Meeting
2	06/27/2025	Plan Commission Submission
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: _____
Reviewed By: _____
Approved By: _____

SHEET TITLE:
DEMO PLAN

SHEET NUMBER:
C1.0

JSD PROJECT NO: _____ 25-16526

#	Date	Description
1	06/17/2025	Pre-Application Meeting
2	06/27/2025	Plan Commission Submission
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

DESIGNED BY:
 REVIEWED BY:
 APPROVED BY:
 SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C2.0

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE RIGHT-OF-WAY AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS, JURISDICTIONAL SPECIFICATIONS, AND APPROVED BY THE JURISDICTION HAVING AUTHORITY.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION, NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- CONTRACTOR SHALL RESTORE ALL BUILDINGS, PAVEMENT, PIPES, SLOPES, AND STRUCTURES DAMAGED BY THE CONTRACTOR TO PRE-EXISTING OR BETTER CONDITIONS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE JURISDICTIONAL AUTHORITY AND IS SUBJECT TO CHANGE AT ANY TIME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- ANY REFERENCES TO THE TERMS OR ENTITY ABBREVIATIONS IN THE FOLLOWING NOTES AND SPECIFICATIONS SHALL BE UNDERSTOOD AS FOLLOWS:
 - "JURISDICTION" - THE LOCAL GOVERNMENTAL AGENCY (I.E. CITY, VILLAGE, TOWN, COUNTY, STATE, OR UTILITY SERVICE PROVIDER) HAVING AUTHORITY.
 - "STATE HIGHWAY SPECIFICATIONS" - STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION AND SUPPLEMENTS
 - "STANDARD SPECIFICATIONS" - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION AND SUPPLEMENTS
 - WISCONSIN DEPARTMENT OF TRANSPORTATION - "WISDOT"
 - WISCONSIN DEPARTMENT OF NATURAL RESOURCES - "WDNR"
 - DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES - "DPS" OR "SPS"

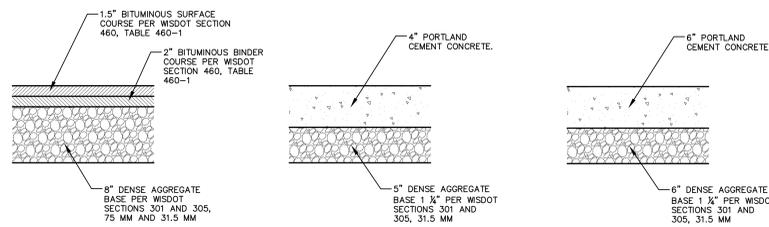
PAVING NOTES

- GENERAL**
 - PAVING SHALL CONFORM TO STATE HIGHWAY SPECIFICATIONS, APPLICABLE JURISDICTIONAL SPECIFICATIONS, AND THE GEOTECHNICAL REPORT PREPARED BY [] DATED [] ISSUE DATE []. ALL REFERENCES TO THE "GEOTECHNICAL REPORT" SHALL BE UNDERSTOOD AS THE AFOREMENTIONED REPORT.
 - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
 - SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER, PAVEMENT, OR SIDEWALK SHALL MATCH EXISTING AND MEET JURISDICTIONAL REQUIREMENTS.
- CRUSHED AGGREGATE BASE COURSE SPECIFICATIONS:**
 - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305 OF THE STATE HIGHWAY SPECIFICATIONS.
 - RECLAIMED OR RECYCLED ASPHALT MAY NOT BE USED AS CRUSHED AGGREGATE BASE COURSE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD. USE OF ANY OTHER REPROCESSED OR BLENDED MATERIAL MUST BE APPROVED BY ENGINEER OF RECORD.
 - DO NOT PLACE BASE ON FROZEN FOUNDATIONS UNLESS THE ENGINEER APPROVES OTHERWISE.
 - DO NOT PLACE BASE ON FOUNDATIONS THAT ARE SOFT, SPONGY, OR COVERED BY ICE OR SNOW.
- HOT MIXED ASPHALT (HMA) PAVING SPECIFICATIONS:**
 - THE PAVING CONSTRUCTION AND COMPOSITION OF THE BASE COURSE AND HMA SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS:**
 - DO NOT PLACE HMA WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE.
 - DO NOT PLACE ASPHALT MIXTURE WHEN THE AIR TEMPERATURE IS APPROXIMATELY 3° ABOVE GRADE, IN SHADE, AND AWAY FROM ARTIFICIAL HEAT SOURCES IS LESS THAN 40°F UNLESS A VALID ENGINEER-ACCEPTED COLD WEATHER PAVING PLAN IS IN EFFECT.
 - PLACE ASPHALTIC MIXTURE ONLY ON A PREPARED, FIRM AND COMPACTED BASE, FOUNDATION LAYER, OR EXISTING PAVEMENT SUBSTANTIALLY SURFACE-DRY AND FREE OF LOOSE AND FOREIGN MATERIAL. DO NOT PLACE OVER FROZEN SUBGRADE OR BASE, OR WHERE THE ROADBED IS UNSTABLE.
 - APPLY TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 32°F OR MORE UNLESS THE ENGINEER APPROVES OTHERWISE BY WRITING.
 - ALL ASPHALT (BOTH UPPER AND LOWER LAYERS) SHALL BE DELIVERED TO THE PROJECT SITE AT A TEMPERATURE NOT LOWER THAN 250°F.
 - CONTRACTOR SHALL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - BINDER COURSE AGGREGATE:**
 - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTION 460 OF THE STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE:**
 - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIALS**
 - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTIONS 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS:**
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 405, 415, AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS. CONTRACTOR SHALL PROVIDE A JOINTING PLAN TO ENGINEER IF NOT INCLUDED IN THE PLANS. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 15' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 100' APART.
 - PLACE EXPANSION JOINTS IN CURB, GUTTER, OR CURB AND GUTTER CONSTRUCTED NEXT TO ASPHALTIC PAVEMENT OR SURFINING. LOCATE JOINTS EVERYWHERE THAT TANGENT AND RADIAL CURB OR CURB AND GUTTER MEET; ON EACH SIDE OF EVERY INLET 3' FROM THE INLET, BUT NO CLOSER THAN 6' FROM ANOTHER JOINT; AND ON TANGENT SECTIONS PLACE BETWEEN 6' AND 300'.
 - IF CONSTRUCTING CURB, GUTTER, OR CURB AND GUTTER NEXT TO, OR ON CONCRETE PAVEMENT CONSTRUCTED WITH EXPANSION JOINTS, THEN PLACE EXPANSION JOINTS TO MATCH THE EXPANSION JOINT LOCATIONS IN THE PAVEMENTS.
 - FOR CURB AND GUTTER, FORM CONTRACTION JOINTS BY SAWING OR FORMING AN INDUCED PLANE OF WEAKNESS AT LEAST 2" DEEP IN THE CURB, GUTTER, OR CURB AND GUTTER DIRECTLY OPPOSITE CONSTRUCTION OR CONTRACTION JOINTS IN ADJOINING CONCRETE PAVEMENT AND AT THE REQUIRED SPACING IN CURB, GUTTER, OR CURB AND GUTTER ADJOINING ASPHALTIC PAVEMENT. SPACE JOINTS BETWEEN 6' AND APPROXIMATELY 27' APART, AS THE ENGINEER DIRECTS.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - CONTRACTOR SHALL INSTALL TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS AS SPECIFIED ON PLANS AND IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS.
- PAVEMENT MARKING SPECIFICATIONS:**
 - ALL PARKING STALL LINES SHALL BE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT.
 - ALL PAVEMENT MARKINGS INCLUDING STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, AND DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.

SITE INFORMATION	
PARCEL NO.	1212984001
SITE AREA	67,061 S.F. (1.540 ACRES)
NUMBER OF PARKING STALLS	
SURFACE	
STANDARD	57
ACCESSIBLE	3
TOTAL SURFACE	60
SITE COVERAGE ANALYSIS	
EXISTING IMPERVIOUS SURFACE AREA	3,782 SF (0.087 ACRES)
EXISTING PERVIOUS SURFACE AREA	63,279 SF (1.453 ACRES)
PROPOSED PAVED AREA	27,419 SF (0.629 ACRES)
PROPOSED BUILDING FOOTPRINT	7,933 SF (0.182 ACRES)
PROPOSED IMPERVIOUS SURFACE AREA	35,352 SF (0.812 ACRES)
PROPOSED IMPERVIOUS SITE PERCENTAGE	53%
PROPOSED PERVIOUS SURFACE AREA	31,709 SF (0.728 ACRES)
PROPOSED PERVIOUS SITE PERCENTAGE	47%
PROPOSED NET IMPERVIOUS INCREASE	31,570 SF (0.725 ACRES)
PROPOSED CN VALUE	87
DISTURBED AREA	67,061 SF (1.540 ACRES)

LEGEND

	PROPERTY LINE
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING SETBACK LINE
	PAVEMENT SETBACK LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	STORMWATER MANAGEMENT AREA
	SIGN
	SAWCUT EXISTING PAVEMENT
	EXISTING OVERHEAD LINES
	EXISTING STORM SEWER INLET
	PROPOSED STORM SEWER CATCH BASIN
	PROPOSED STORM SEWER INLET
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER ENDWALL



STANDARD ASPHALT PAVEMENT SECTION
N.T.S.

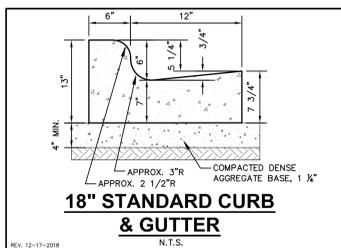
CONCRETE SIDEWALK SECTION
N.T.S.

CONCRETE PAD SECTION
N.T.S.

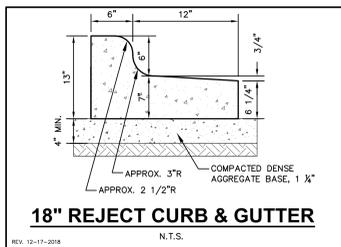
GENERAL NOTES:

- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY [] TITLED [] DATED []. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
- MSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
- CONCRETE EQUIPMENT PADS SHALL HAVE A MINIMUM 4" THICK PORTLAND CEMENTER CONCRETE OVER COMPACTED 4" THICK DENSE GRADED BASE WITH REINFORCEMENT FOR CRACK CONTROL.

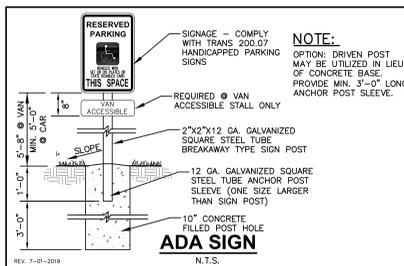
PAVEMENT SECTIONS
N.T.S.



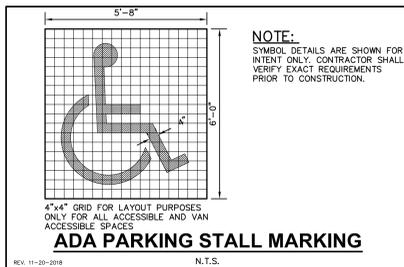
18" STANDARD CURB & GUTTER
N.T.S.



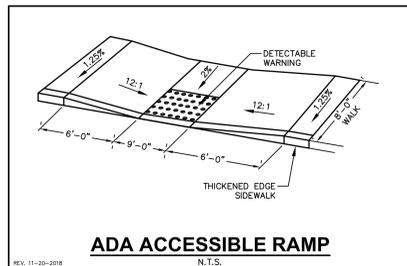
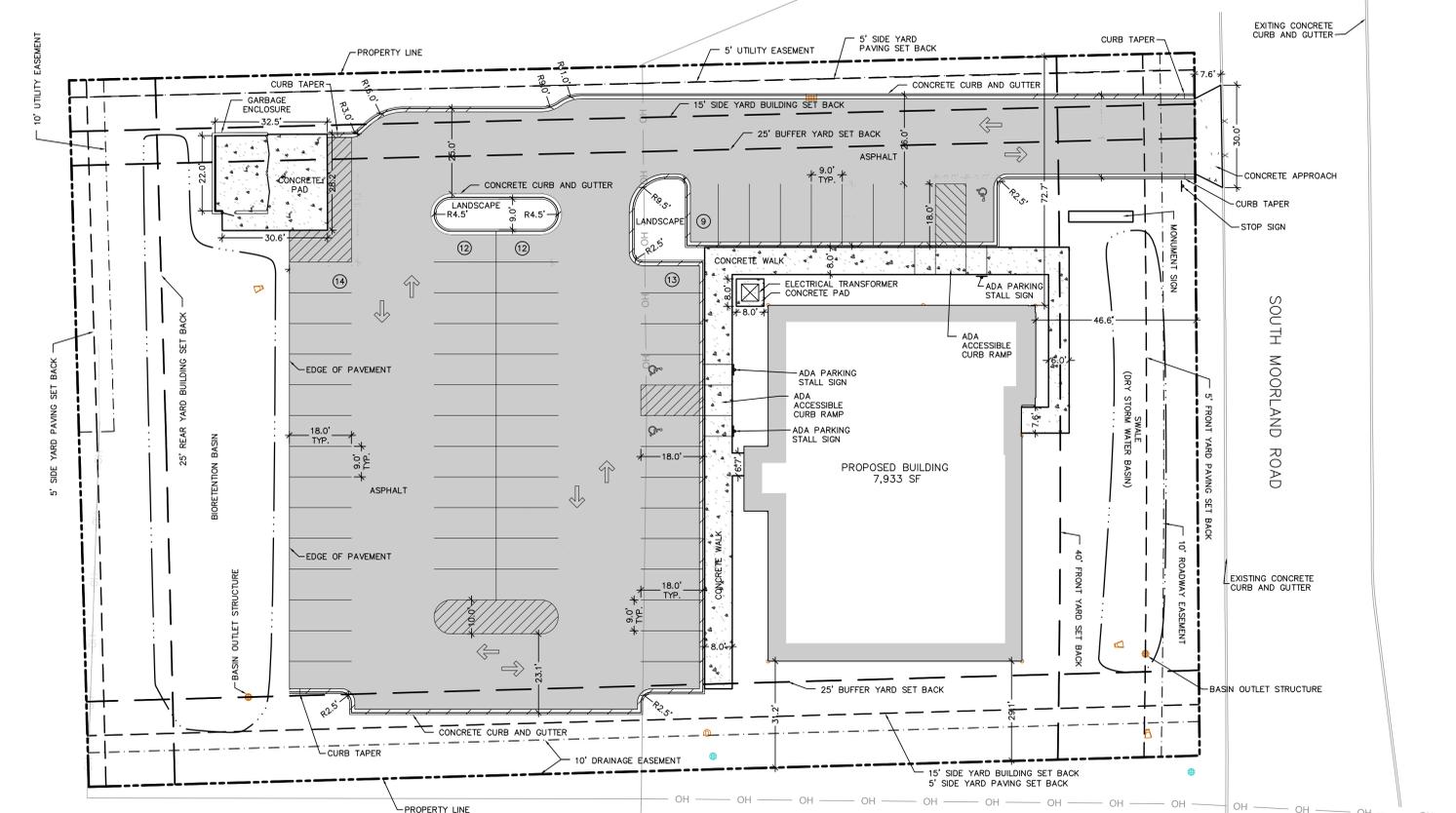
18" REJECT CURB & GUTTER
N.T.S.



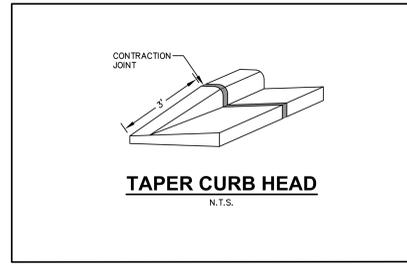
ADA SIGN
N.T.S.



ADA PARKING STALL MARKING
N.T.S.



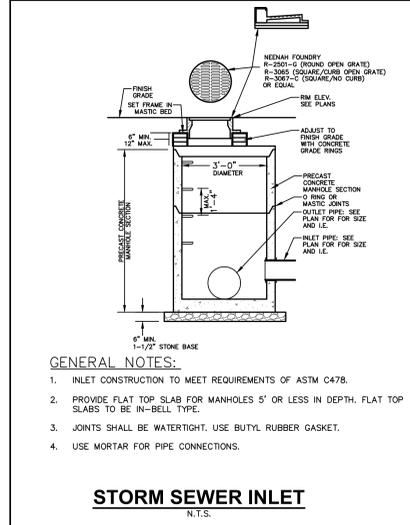
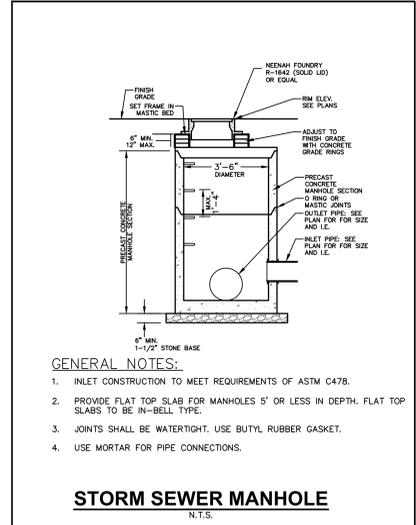
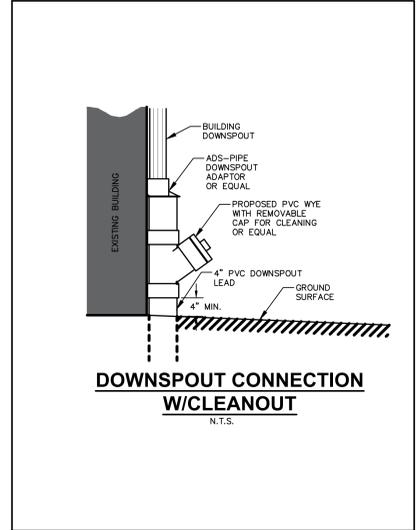
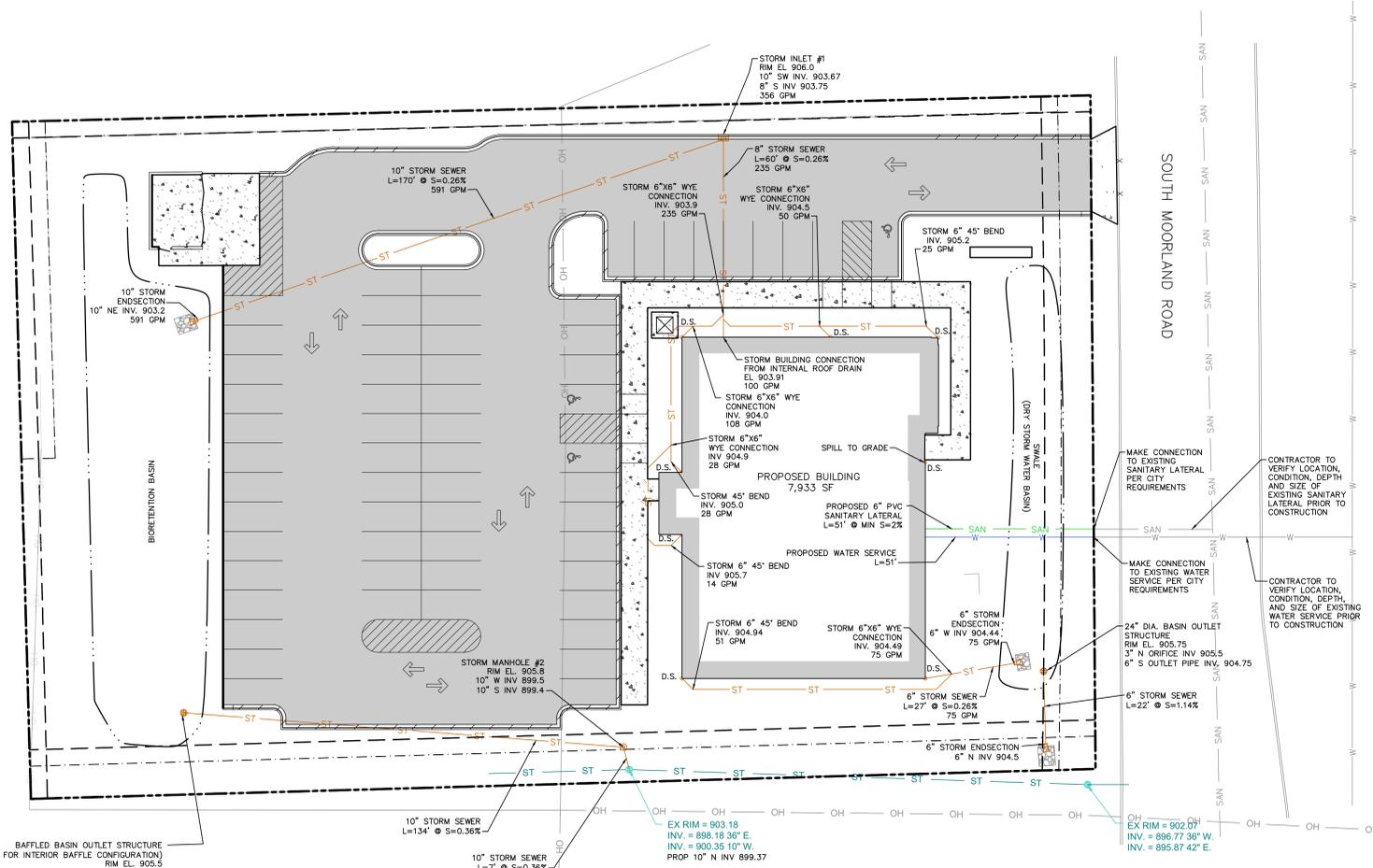
ADA ACCESSIBLE RAMP
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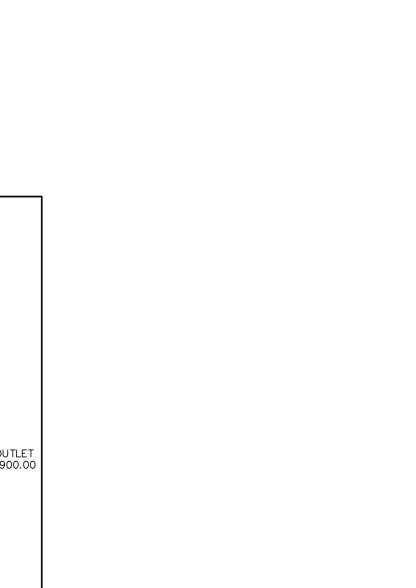
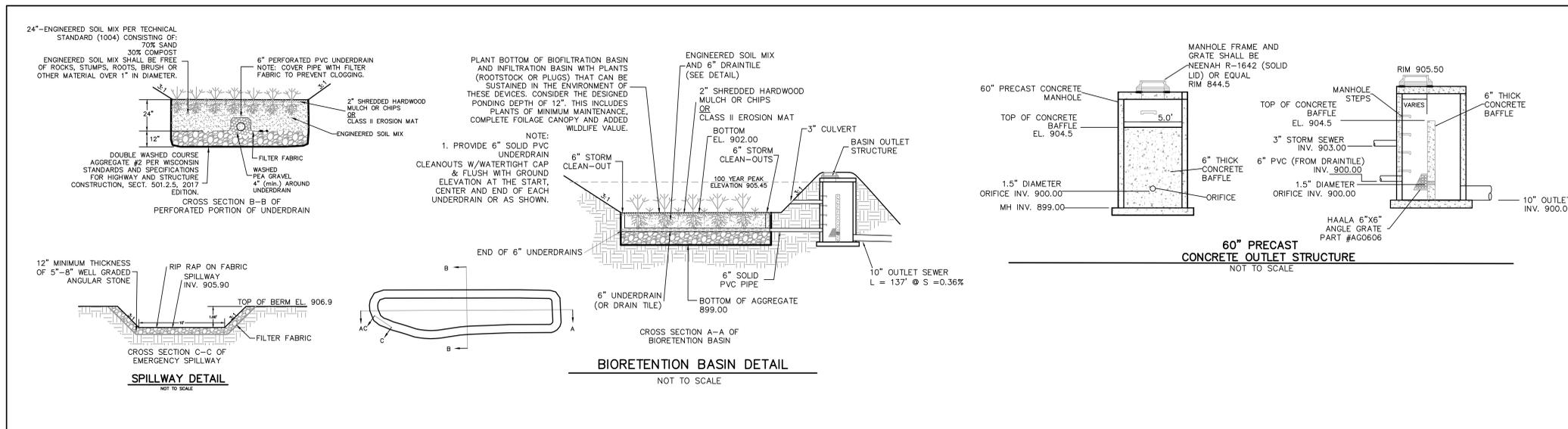
TAPER CURB HEAD
N.T.S.

LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- SAWCUT EXISTING PAVEMENT
- RIP-RAP
- OH --- EXISTING OVERHEAD LINES
- EXISTING STORM SEWER INLET
- PROPOSED STORM SEWER CATCH BASIN
- PROPOSED STORM SEWER INLET
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM SEWER ENDWALL
- SAN --- SANITARY SEWER
- WATERMAIN
- ST --- STORM SEWER
- SAN --- EXISTING SANITARY SEWER
- W --- EXISTING WATERMAIN
- STORM WATER MANAGEMENT AREA



- GENERAL NOTES:**
1. INLET CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
 2. PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
 3. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
 4. USE MORTAR FOR PIPE CONNECTIONS.





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MILWAUKEE REGIONAL OFFICE
 W236 N1610 BUSSIE ROAD, SUITE 100
 WAUKESHA, WISCONSIN 53188
 P. 262.513.0666

CLIENT:
SHOREWEST REALTORS

CLIENT ADDRESS:
**3885 SOUTH MOORLAND ROAD
 NEW BERLIN, WI 53151**

PROJECT:
SHOREWEST REALTORS

PROJECT LOCATION:
**3885 SOUTH MOORLAND ROAD
 NEW BERLIN, WAUKESHA
 WI, 53151**

PLAN MODIFICATIONS:		
#	Date	Description
1	06/17/2025	Pre-Application Meeting
2	06/27/2025	Plan Commission Submission
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By:
 Reviewed By:
 Approved By:

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C4.0

JSD PROJECT NO: 26-16626

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SITE INFORMATION

USDA PLANT HARDINESS ZONE	5b (-15 to -10 Degrees F)
LOT ZONING	
LOT AREA	
EXISTING SITE BUILDING AREA	
PROPOSED SITE BUILDING AREA	
PROPOSED PAVEMENT AREA	
TOTAL IMPERVIOUS	
TOTAL GREENSPACE	
SITE LANDSCAPE PERCENTAGE	
TOTAL PARKING STALLS	

LANDSCAPE PLAN GENERAL NOTES

- PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.
- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
 - ALL PLANTINGS SPECIFIED FOR THE SHOREWEST NEW BERLIN PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 02.12.

- ALL DEVIATIONS FROM THE APPROVED SHOREWEST NEW BERLIN PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS MUST BE BID AND SELECTED FOR THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SOODED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELIMITED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION FOR COORDINATION AND RESOLUTION.
- ALL DISEASED, NODDIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
- GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REINVESTED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
- FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL PERENNIAL ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8", A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY VARY TO ADJUSTMENT TO THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF FINE MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED ORGANIC MATERIAL.

- ALL SHRUBS TO BE POKET PLANTED WITH A 50/50 MIX OF COMPOSTED ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDED HARDWOOD, OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER, DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.

23. **DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**
20% KENTUCKY BLUE GRASS
15% NEWPORT KENTUCKY BLUE GRASS
15% SR 2100 Kentucky Bluegrass
25% Creeping Red Fescue
15% Replikat Perennial Ryegrass
10% Flats 4 Perennial Ryegrass
APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION.

24. DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSLANTING OR THINNING SHALL IMMEDIATELY BE REPLACED. NEW LAWN SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
MAINTENANCE NOTE:
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
• NECESSARY IRRIGATION (REQUIRED)
• INTEGRATED PEST MANAGEMENT
• PROPER FERTILIZATION
• TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
• REPLACEMENT OF LOST VEGETATION, AND ALL DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
• WEED MANAGEMENT AND BED CARE.

25. ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPARENT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPARATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPARATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING AGORVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
26. MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM DEBRIS & WEEDS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
27. LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

LANDSCAPE PLAN REQUIREMENTS

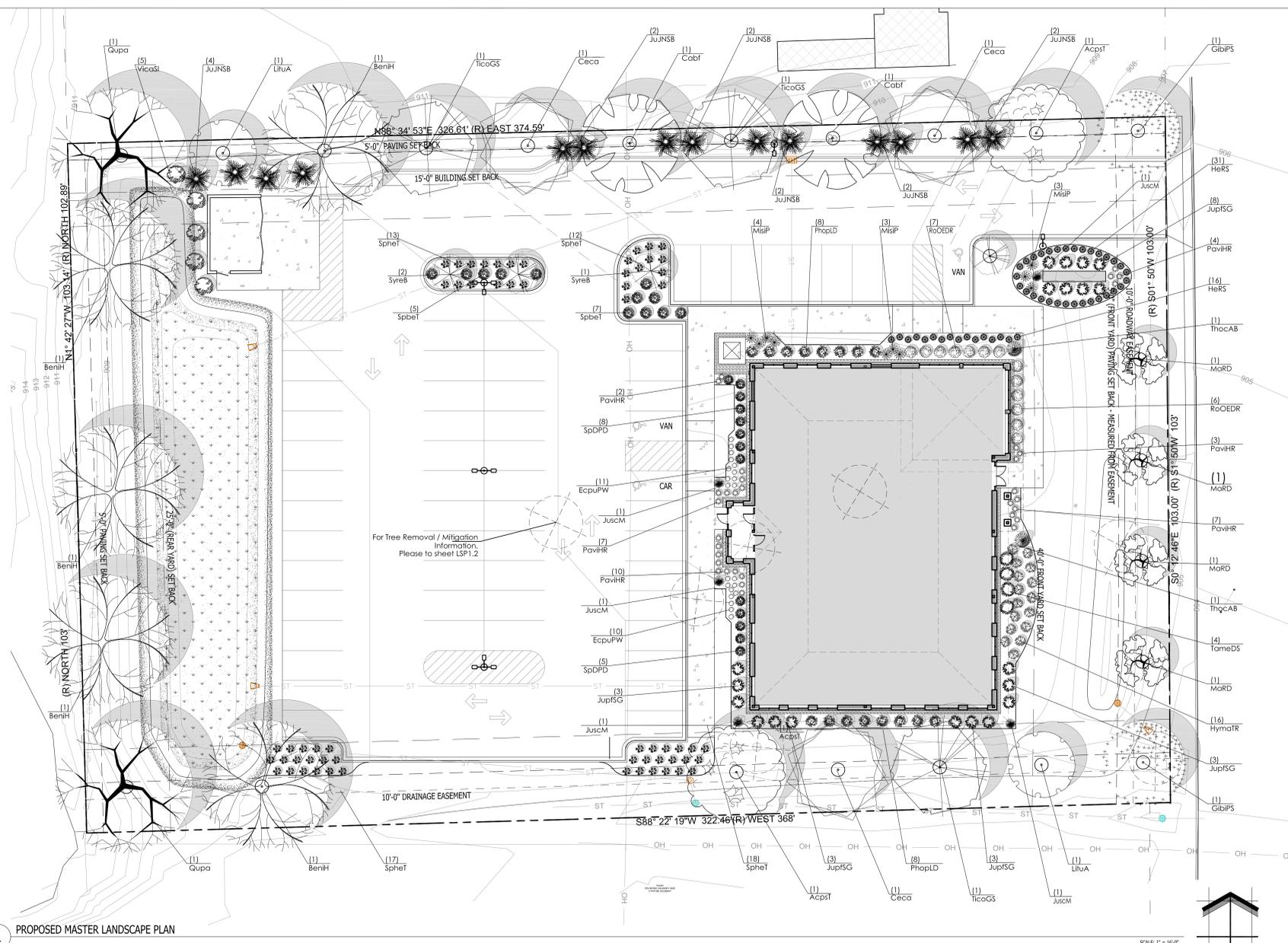
DESIGN COMPLIANCE. THIS LANDSCAPE PLAN IS ACCURATE AND IN COMPLIANCE WITH THE CITY OF NEW BERLIN LANDSCAPE REQUIREMENTS SET FOR IN SECTION 275-56 LANDSCAPING AND BUFFERING.
(1) Fiscal security. The developer shall submit a cost estimate for the landscaping based on actual bids or qualified or licensed landscape architect, forester, master gardener and/or landscape professional estimate. The actual survey shall be 100% of the original survey.
(2) Additionally, a maintenance portion of the survey is required to ensure that the landscape installation is maintained during its critical establishment (three-year) period following installation. The amount of the maintenance portion of the survey shall be 20% of the original survey.
(3) After the critical three-year establishment period following initial installation, the developer shall be responsible for continued maintenance and shall hire when the homeowner's association or designer shall be responsible for the perpetual care and maintenance of the required landscape area.
(4) A qualified or licensed landscape architect, forester, master gardener and/or landscape professional shall perform the final inspection of the site to ensure adherence to the landscape plan and required installation techniques per the chapter. The qualified or licensed landscape architect, forester, master gardener and/or landscape professional will be required to sign a letter of compliance before the fiscal security will be released. The City of New Berlin must also concur with the letter of compliance before the fiscal security will be released.

- Plant sizes. At the time of installation, plantings required for this section shall be no smaller than the following:
(1) Deciduous trees. A minimum of 50% of the proposed deciduous trees shall have a minimum size of four inches DBH.
(2) All remaining deciduous trees shall have a minimum size of two inches DBH.
(3) Evergreen trees. A minimum of 50% of the proposed evergreen trees shall have a minimum height of eight feet.
(4) All remaining evergreen trees shall have a minimum height of six feet.
(5) All ornamental trees. All ornamental trees shall have a minimum size of two inches DBH.
(6) All shrubs. All shrubs shall be from five-gallon or greater planters.
- Landscaping requirements for multifamily and nonresidential uses.
(1) All multifamily and nonresidential land uses shall install at least one tree and three shrubs for every 3,000 square feet of lot area covered by open space.
(2) A minimum of 60% of the required landscaping shall be located in the front yard.
(3) Any existing trees and shrubs shall be preserved and are protected during construction according to specifications in § 275-56(5) shall be credited against the landscaping requirements.
(4) When demonstrated by the applicant that the development site cannot or should not be landscaped in accordance with the landscape provisions of this chapter, the Department of Community Development may waive certain requirements or substitute alternative landscaping quantities or methods through the use of low-impact/low-impact design, alternative stormwater best management practices/green infrastructure (which may include, but are not limited to, bio-retention, infiltration, pervious surfaces, green roofs, rain gardens, underground storage, and/or rain harvesting/reuse).

- Parking lot landscaping.
(1) Purpose and Intent. It is the intent of these standards to require screening along parking lots adjacent to the required street and to enhance the visual quality of commercial districts by developing visual relief from the exposure of asphalt concrete and vehicles. It is encouraged that the landscape development of the screening buffer take on a more natural appearance, where organic trees are used over straight formal lines.
(2) Perimeter landscaping. (a) Minimum planting requirements.
(i) A minimum of one shade or evergreen tree per 20 linear feet of parking surfaces and one shrub per five linear feet of parking surfaces shall be planted along the perimeter of any parking area when adjacent to an arterial street. A minimum of one shade or evergreen tree per 30 linear feet of parking surfaces and one shrub per 10 linear feet of parking surfaces shall be planted along the perimeter of any parking area when adjacent to a nonarterial street.
(ii) For parking lots adjacent to a side or rear lot line, a minimum of one evergreen or shade tree per 30 linear feet of parking surfaces and one shrub per five linear feet of parking surfaces shall be planted along the perimeter of any parking area when adjacent to a side or rear lot line.
(3) Parking lot interiors. (a) General requirements. (i) Each individual landscaped island shall include a minimum of one tree and two shrubs or appropriate stormwater plantings.
(ii) Landscaped islands shall be at least 170 square feet in size with the smallest dimension of pervious surface being six feet to allow for adequate root aeration and expansion. Any landscaped island that is less than 170 square feet in area may not be used in the minimum five-percent interior landscaping requirement calculation.

- Minimum required buffer yard. The following table sets forth the minimum required buffer yard based upon the adjacent land uses and not the zoning district. The abbreviations in the table are described as follows: (a) zoned M-1 and due south across Lincoln Avenue is A-2 and C-2
(b) Substantial buffer yard. A 7' x 6' cell indicates a substantial buffer yard is required with a minimum width of 25 feet.
(c) Major buffer yard. A 10' x 6' cell indicates a major buffer yard is required with a minimum width of 40 feet.

CONTRACTOR NOTE: THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THE THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND "SIGN OFF" WITH THE CITY OF NEW BERLIN. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THAT AFFIDAVIT WITH THE CITY OF NEW BERLIN.



Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	AcpsT	☼	Acer pseudoplatanus 'Tunpethi'	Regal/Herculean Sycamore Maple	2'-Cal - B&B	1
2	BenH	☼	Betula Nigra 'Heritage'	Heritage River Birch	4' Cal - B&B	1
2	CobF	☼	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	4' Cal - B&B	1
3	Ceca	☼	Cercis canadensis	Eastern redbud	2 1/2'-Cal - B&B	1
2	GibPiS	☼	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2 1/2'-Cal - B&B	1, 7
2	LitUA	☼	Liliodendron tulipifera 'Aureomarginatum'	Majestic Beauty Tulip Tree	2 1/2'-Cal - B&B	1
4	MoRD	☼	Malus 'JFS KW139MX'	Ruby Daze Crabapple	2'-Cal - B&B	1
2	Qupa	☼	Quercus palustris	Pin oak	4' Cal - B&B	1
4	SyreB	☼	Syringa reticulata 'Balance'	Snowdance Japanese Tree lilac	2'-Cal - B&B	1
3	TicoGS	☼	Tilia cordata 'Green Spire'	Green Spire Linden	4' Cal - B&B	1

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
14	JuNSB	☼	Juniperus 'J.N. Select Blue'	Star Power Juniper	7' - B&B	4
5	JuscM	☼	Juniperus scopulorum 'Medora'	Medora Juniper	4' - 5' - B&B	4
2	ThocAB	☼	Thuja occidentalis 'Art Boe'	North Pole Arborvitae	7' - B&B	4

- Comments**
- Straight central leader, full & even crown. Prune only after planting.
 - Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
 - Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required.
 - Evenly shaped upright tree with full branching to the ground.
 - Full, well rooted plant, evenly shaped.
 - Full, well rooted plant.
 - Male only

Stormwater Management Areas

Upper Third of the Bowl - Economy Prairie Seed Mix Storm Water Management Pond area from Cardno

Quantity	Symbol	Supplier	Type
2,400 sq. ft. VERIFY	☼	Cardno	Economy Prairie Seed Mix - mixture contains 7 native permanent grass/ sedge species and 15 native forb species. Apply at 10 PLS pounds per acre. Refer to cut sheets for mix specifics and installation instructions.

Lower Two-Thirds of the Bowl - Stormwater Prairie Seed Mix @ Storm Water Management Pond area from Cardno

Quantity	Symbol	Supplier	Type
4,200 sq. ft. VERIFY	☼	Cardno	Rainwater Renewal Seed Mix - mixture contains 15 native permanent grass/ sedge species and 19 native forb species. Refer to cut sheets for mix specifics and installation instructions.

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
16	HymaR	☼	Hydrangea macrophylla 'Joni04'	Tuxedo Red Hydrangea	18" - 24" - Cont	5
16	PhopLD	☼	Physocarpus opulifolius 'Danna May'	Little Devil Ninebark	18" - Cont	5
13	RoOEDR	☼	Rosa x Oso Easy Double Red Rose	Oso Easy Double Red Rose	18" - 24" - Cont	5
12	SpbeT	☼	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	18" - Cont	5
13	SpDPD	☼	Spiraea x NCSX2	Double Play Doozie Spirea	18" - Cont	5
5	VicoSI	☼	Viburnum carlesii 'J.N. Select A'	Spice Island Koreanopice viburnum	18" - 24" - Cont	5

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
20	JupISG	☼	Juniperus x pfitzeriana 'MonSon'	Sea of Gold Juniper	18" - 24" - B&B	5
4	TameDS	☼	Taxus x media 'Densiforme Select'	Select Dense Spreading Yew	18" - 24" - B&B	5

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
10	MisIP	☼	Miscanthus sinensis 'Purpureus'	Purple Silver Grass	1-Gal - Cont	6
33	PaviHR	☼	Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	6
60	SpbeT	☼	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1-Gal - Cont	6

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
21	EcpuPW	☼	Echinacea purpurea 'PAS702917'	Pow Wow Wild Beny Coneflower	1-Gal - Cont	6
47	HeRS	☼	Hemerocallis x 'Ruby Spider'	Ruby Spider Daylily	4 1/2" pot	6

INFILTRATION BASIN CONSTRUCTION & RESTORATION NOTES

- THE PERMANENT INFILTRATION BASIN SHALL BE CONSTRUCTED AS PART OF THE INITIAL CONSTRUCTION PROJECT.
- ONCE CONSTRUCTION OF A PERMANENT INFILTRATION BASIN BEGINS, THE INFILTRATION BASIN BOTTOM SHALL BE CORDONED OFF OR SOMEHOW DESIGNATED AS BEING PROTECTED FROM COMPACTION FROM HEAVY EQUIPMENT.
- TOPSOIL & OVERBURDEN SHALL BE OVER-EXCAVATED AS NECESSARY TO EXPOSE SANDY SOILS SUITABLE FOR STORMWATER INFILTRATION, AS VERIFIED BY THE GEOTECHNICAL ENGINEER.
- A POST CONSTRUCTION INFILTRATION TEST IS REQUIRED FOR EACH BAY OF THE INFILTRATION BASIN, WITH RESULTS PROVIDED TO THE DESIGN ENGINEER.
- BASIN CONSTRUCTION SHALL BE SUSPENDED IN PERIODS OF RAINFALL AND SNOWMELT AND SHALL REMAIN SUSPENDED IF FLOODED WATER IS PRESENT.
- PROVIDE COMPOST MIXTURE PER PLAN TO THE IDENTIFIED BOTTOM INFILTRATION AREAS. THE COMPOST COMPONENT SHALL MEET THE REQUIREMENTS OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES SPECIFICATIONS S100 - COMPOST. EXISTING SOILS IN COMPOSTED AREAS SHALL BE HELD 3" LOW, 3" OF COMPOST SHALL BE ADDED BRINGING TO FINAL GRADE, AFTER PLACEMENT OF COMPOST PROVIDE 12" DEEP TILL.
- REFER TO THE LANDSCAPE PLAN FOR FINAL SPECIFICATIONS AND INFORMATION FOR INFILTRATION BASIN PLANTINGS, STABILIZATION, ETC. ANY INFORMATION SHOWN ON THE SITE CIVIL PLANS RELATED TO PLANTINGS/EXPOSED SOILS/INFILTRATION ZONES, ETC. SHALL BE SUPERCEDED BY THE LANDSCAPE PLAN. ALL SIDE SLOPES 4:1 OR GREATER SHALL BE PROVIDED WITH CLASS I, TYPE A EROSION MATTING.
- DURING CONSTRUCTION, INFILTRATION BASIN MAY REQUIRE PERIODIC REMOVAL OF SEDIMENT ACCUMULATED IN THE BOTTOM OF THE BASIN. THIS IS NECESSARY TO KEEP THE INFILTRATION BASINS INFILTRATING AT A HIGHER RATE; IMPORTANT TO THIS SITE THAT IS REQUIRED TO INFILTRATE 100% OF ALL RUNOFF. SEDIMENT REMOVED FROM BASIN BOTTOMS SHALL BE PLACED IN AN AREA USUALLY OF A WET FOREBAY.
- REFER TO THE STORM WATER MANAGEMENT PRACTICE MAINTENANCE AGREEMENT FOR POST-CONSTRUCTION MAINTENANCE ACTIVITIES, INCLUDING MAINTENANCE OF THE INFILTRATION BASINS.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 30 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN & OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO THE LOCALITIES OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE SURVEY ARE APPROXIMATE THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK www.312getinfo.com (800) 242-5111 OR **811** Know what's Below. Call before you dig.

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Project:

SHOREWEST REALTORS - NB

3885 S. Moorland Rd.
New Berlin, WI 53151

Issuance and Revisions:

Date	Number	Description
06/17/25		Pre Application Meeting Review
06/27/25		Plan Commission Submittal

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Sheet Title:

PROPOSED LANDSCAPE PLAN GENERAL NOTES AND PLANT MATERIAL TABLE

Date of Drawing: **06/27/25**

Scale: **1" = 16'-0"**

Drawn By: **MCD**

Job Number: **L25-033**

Sheet Number:

LSP1.1

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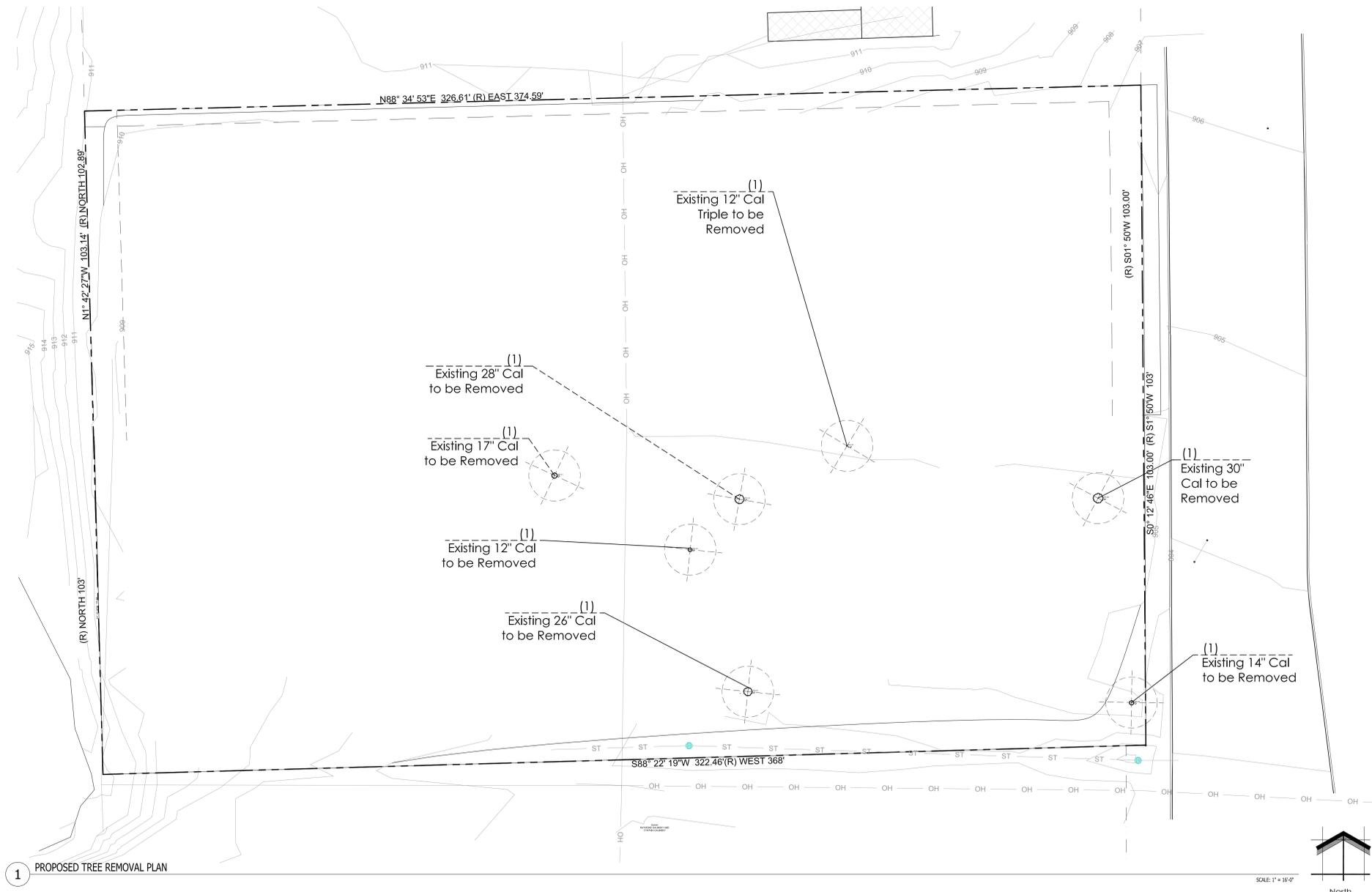
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1 PROPOSED TREE REMOVAL PLAN

Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments	Replacement
1	Extg 14" Cal	---	Existing to be Removed	Existing to be Removed	Extg 14" Cal Demo	3	6 trees of 5 to 7 inches or 12 trees at 2 1/2 to 4 inches
1	Extg 30" Cal	---	Existing to be Removed	Existing to be Removed	Extg 30" Cal Demo	3	6 trees of 5 to 7 inches or 12 trees at 2 1/2 to 4 inches
1	Extg(3)12" Cal	---	Existing to be Removed	Existing to be Removed	Extg (3) 12" Cal	3	6 trees of 5 to 7 inches or 12 trees at 2 1/2 to 4 inches
1	Extg 12" Cal	---	Existing to be Removed	Existing to be Removed	Extg 12" Cal Demo	3	6 trees of 5 to 7 inches or 12 trees at 2 1/2 to 4 inches
1	Extg 28" Cal	---	Existing to be Removed	Existing to be Removed	Extg 28" Cal Demo	3	6 trees of 5 to 7 inches or 12 trees at 2 1/2 to 4 inches
1	Extg 17" Cal	---	Existing to be Removed	Existing to be Removed	Extg 17" Cal Demo	3	6 trees of 5 to 7 inches or 12 trees at 2 1/2 to 4 inches
1	Extg 26" Cal	---	Existing to be Removed	Existing to be Removed	Extg 26" Cal Demo	3	6 trees of 5 to 7 inches or 12 trees at 2 1/2 to 4 inches
Total	Existing to be Replaced with (42) trees at 5 to 7 inches or (84) trees at 2 1/2 to 4 inches						

- Comments:
- Straight central leader, full & even crown. Prune only after planting.
 - Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and visibility for both pedestrians and motorists.
 - Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required.
 - Evenly shaped upright tree with full branching to the ground.
 - Full, well rooted plant, evenly shaped.
 - Full, well rooted plant.
 - Male only

Sec. 275-54. - Natural resource protection
 (7)Replacement of significant trees. When a significant tree or trees are removed from a site, the applicant or developer shall replace such tree(s) on the lot, according to the following schedule and requirements:

Tree Type	Size of Tree Removed	Size of Replacement Tree(s) (DBH)
Deciduous	5 to 7 inches	1 tree at 5 to 7 inches or 3 trees at 2 1/2 to 4 inches
	8 to 11 inches	3 trees at 5 to 7 inches or 9 trees at 2 1/2 to 4 inches
	12 inches or larger	6 trees at 5 to 7 inches or 12 trees at 2 1/2 to 4 inches

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Sheet Title:
 PROPOSED TREE MITIGATION PLAN AND PLANT MATERIAL TABLE

Date of Drawing: 06/27/25
 Scale: 1" = 16'-0"
 Drawn By: MCD
 Job Number: L25-033
 Sheet Number:

LSP1.2

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Sheet Title:

PROPOSED LANDSCAPE PLAN,
PLANTING DETAILS

Date of Drawing: **06/27/25**

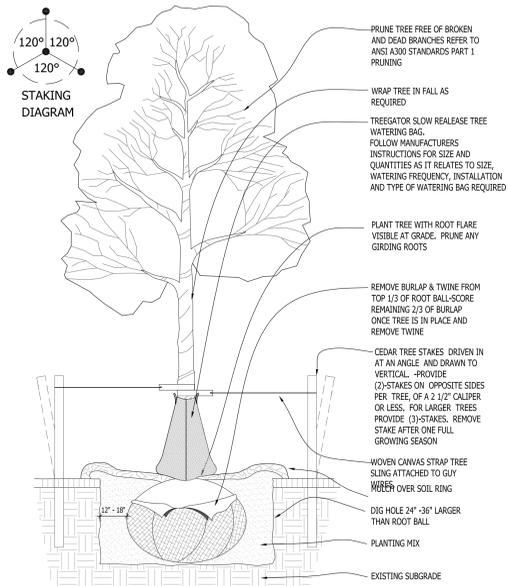
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Drawn By: **MCD**

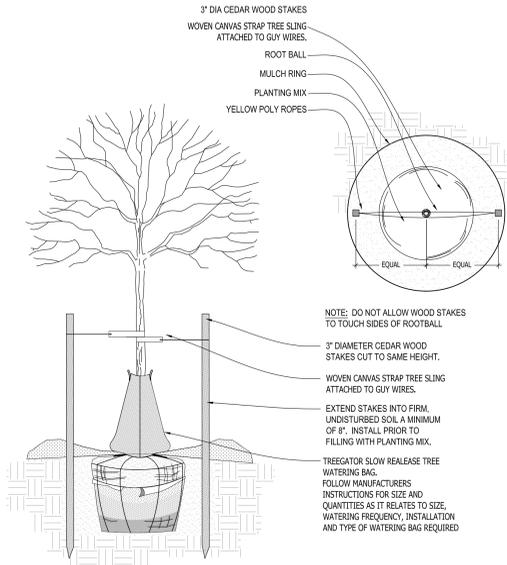
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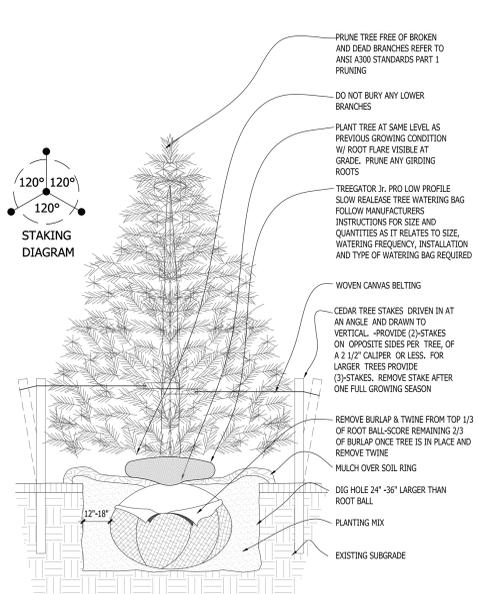
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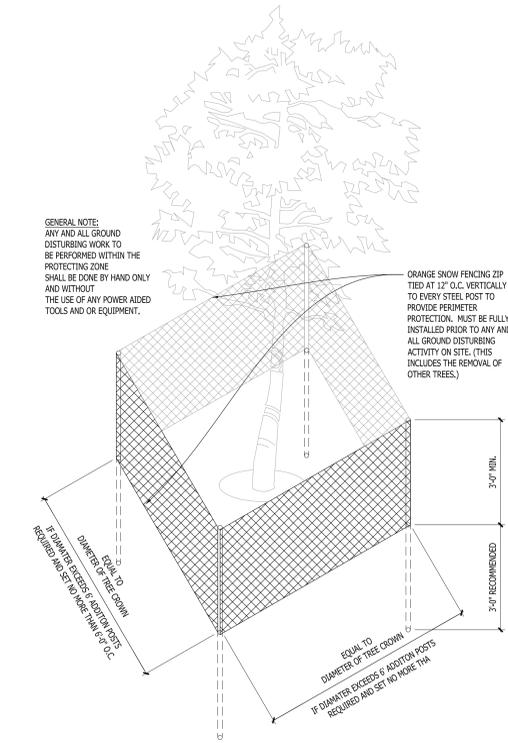
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SCALE: NONE



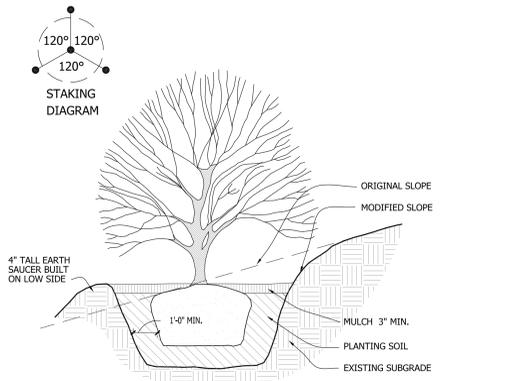
2 DECIDUOUS TREE STAKING
PARKING ISLAND/RESTRICTED AREAS
SCALE: NONE



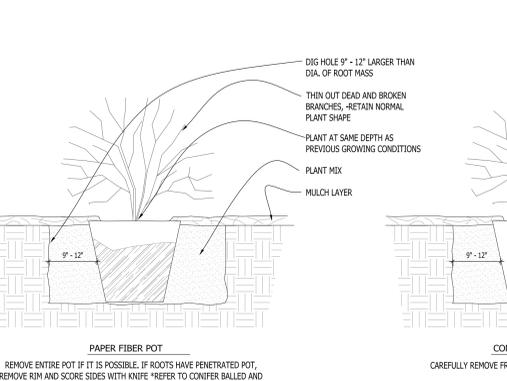
3 CONIFEROUS TREE PLANTING DETAIL
SCALE: NONE



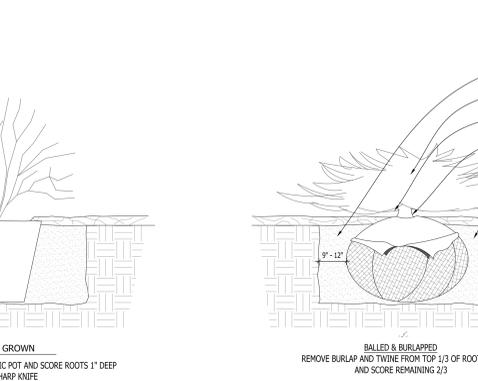
4 EXISTING TREE PROTECTION DETAIL
SCALE: NONE



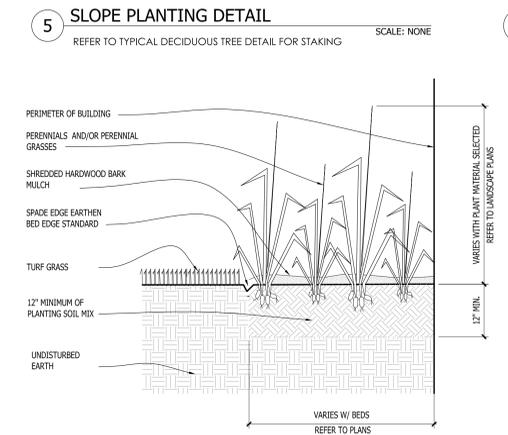
5 SLOPE PLANTING DETAIL
REFER TO TYPICAL DECIDUOUS TREE DETAIL FOR STAKING
SCALE: NONE



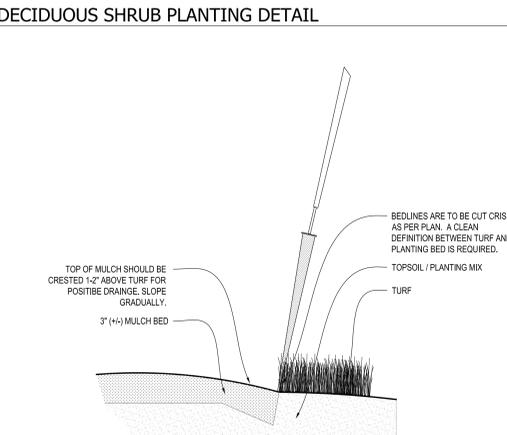
6 DECIDUOUS SHRUB PLANTING DETAIL
SCALE: NONE



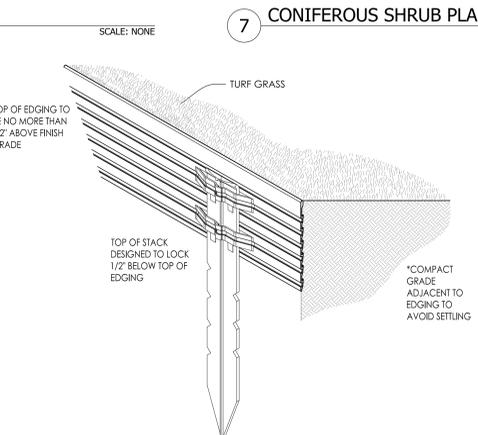
7 CONIFEROUS SHRUB PLANTING DETAIL
SCALE: NONE



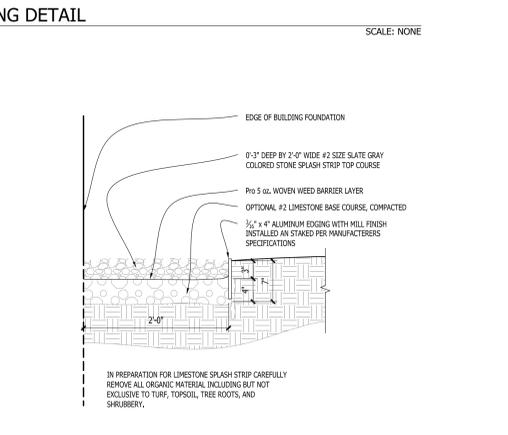
8 PERENNIAL BED PLANTING DETAIL
SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL
SCALE: NONE



10 METAL LANDSCAPE EDGING DETAIL
SCALE: 1/2\"/>



11 COMPACTED GRAVEL SPLASH STRIP
SCALE: 1\"/>

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Sheet Title:

PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN AND LIGHT FIXTURE TABLE

Date of Drawing: 06/27/25

Scale: 1" = 20'-0"

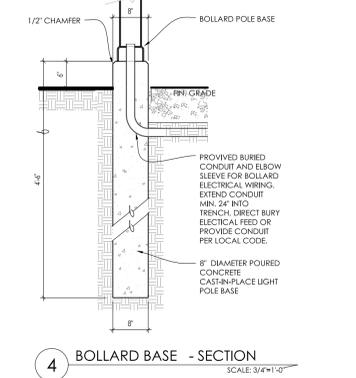
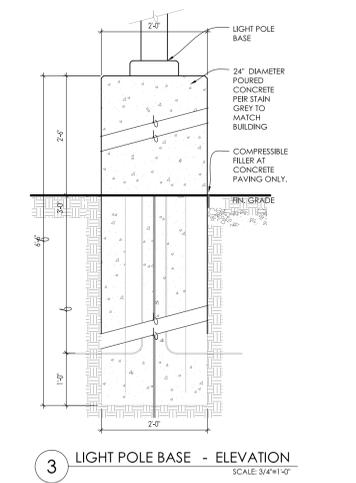
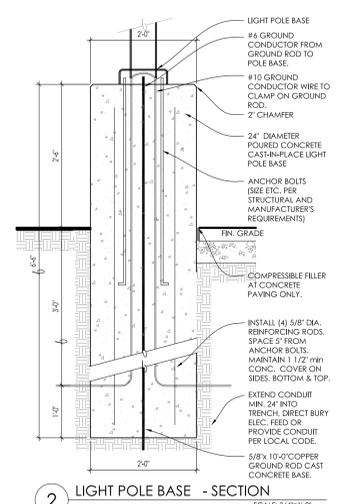
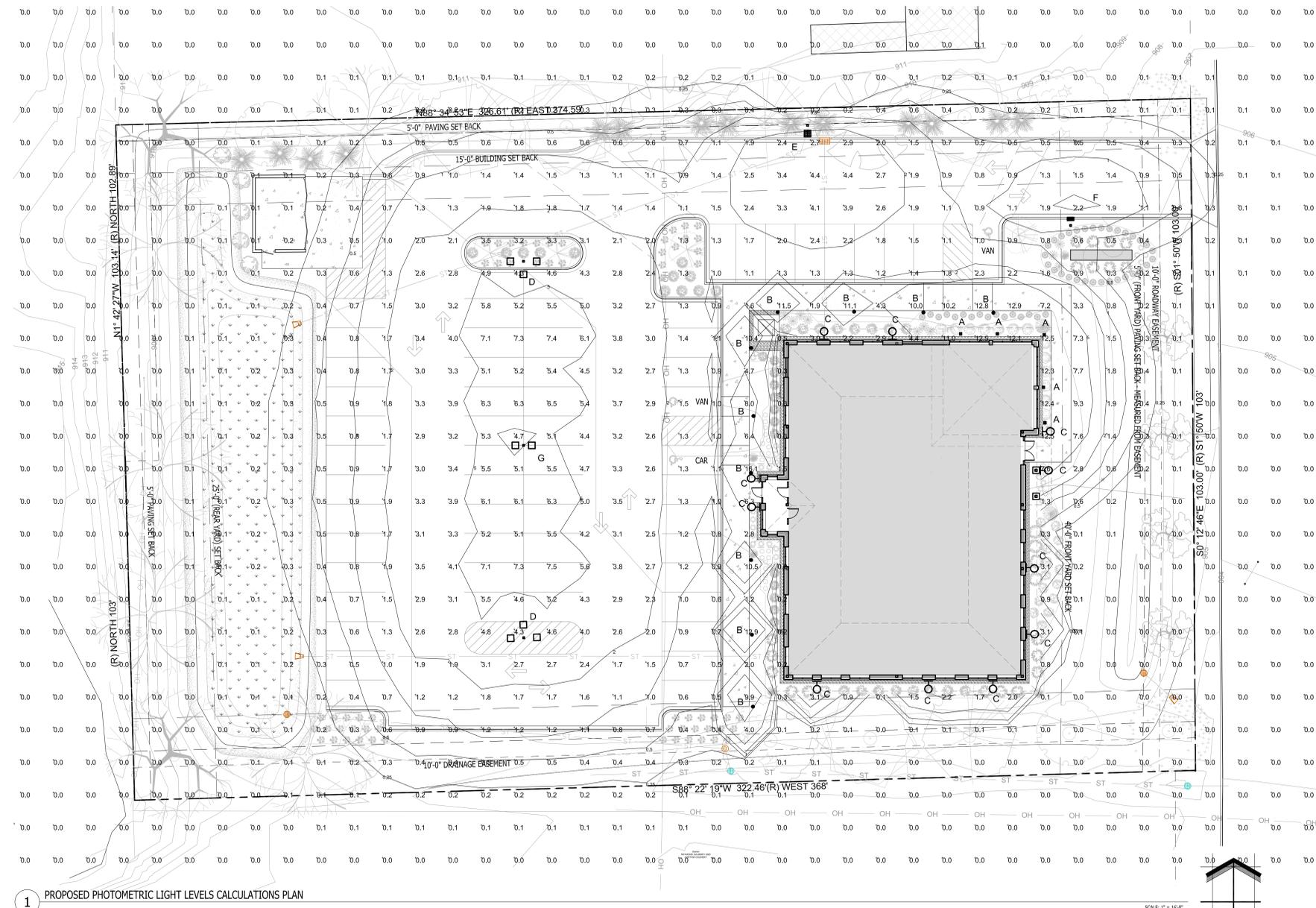
Drawn By: MCD

Job Number: L25-033

Sheet Number:

PHO1.1

NOT FOR CONSTRUCTION - PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY - DO NOT SCALE THESE DRAWINGS - These drawings are preliminary and may be subject to change, including additional notes and details. These are not final construction documents and should not be used for final bidding or construction purposes.



1 PROPOSED PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	A	5	ECL501_A5SM730-120-277V	EVOLVE CANOPY LED SOFFIT - ECL501	LED	ECL501_A5S M730-120-277V.ies	Absolute	1.00	39
⊕	B	10	XHYPS-180-LED-16-350-9W-UE	XHYPS	XHYPS-180-LED-16-350-9W-UE.ies		Absolute	1.00	20
⊙	C	11	RH14-LED14	14-1/8" DIA. X 8-1/16" H. HEAVY DUTY REFLECTOR & WARM WHITE LEDS, LENS, WHITE REFLECTOR	RH14-LED14.IES		Absolute	1.00	13,925
□	D	2	EACL01_C4AF740	EACL AREA LIGHT	LEDs	EACL01_C4AF740.ies	Absolute	1.00	165
■	E	1	EACL01_D3AW740-120-277V-EAC-ABL-BLCK	EACL AREA LIGHT WITH ELS-EAC-ABL-BLCK	LEDs	EACL01_D3AW740-120-277V-EAC-ABL-BLCK.ies	Absolute	1.00	73
■	F	1	EACL01_A2AN740-120-277V-EAC-ABL-BLCK	EACL AREA LIGHT WITH ELS-EAC-ABL-BLCK	LEDs	EACL01_A2AN740-120-277V-EAC-ABL-BLCK.ies	Absolute	1.00	21
□	G	1	EACL01_C4AF740	EACL AREA LIGHT	LEDs	EACL01_C4AF740.ies	Absolute	1.00	110

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.1 fc	12.9 fc	0.0 fc	N / A	N / A

LUMINAIRE NOTES

- FIXTURE "D" (2) IS A NEW POLE LOCATION w/ NEW FOOTING - NEW FIXTURE (TRIPLE HEAD AND TENONS) AND IS TO BE FULL CUT OFF LIGHT SOURCE IS TO BE INSTALLED ON A NEW 2'-6" POLE WITH A NEW 2'-6" REINFORCED POURED CONCRETE FOUNDATION. REFER TO DETAILS REFER TO DETAILS 3/PHO1.1 & 4/PHO1.1.
- FIXTURE "E" (1) IS A NEW POLE LOCATION w/ NEW FOOTING - NEW FIXTURE (SINGLE HEAD AND TENON) AND IS TO BE FULL CUT OFF WITH HOUSE SIDE SHIELDING IS TO BE INSTALLED ON A NEW 2'-6" POLE WITH A NEW 2'-6" REINFORCED POURED CONCRETE FOUNDATION. REFER TO DETAILS 3/PHO1.1 & 4/PHO1.1.
- FIXTURE "F" (1) IS A NEW POLE LOCATION w/ NEW FOOTING - NEW FIXTURE (SINGLE HEAD AND TENON) AND IS TO BE FULL CUT OFF WITH HOUSE SIDE SHIELDING IS TO BE INSTALLED ON A NEW 2'-6" POLE WITH A NEW 2'-6" REINFORCED POURED CONCRETE FOUNDATION. REFER TO DETAILS 3/PHO1.1 & 4/PHO1.1.
- FIXTURE "G" (1) IS A NEW POLE LOCATION w/ NEW FOOTING - NEW FIXTURE (TWIN HEAD AND TENONS) AND IS TO BE FULL CUT OFF LIGHT SOURCE IS TO BE INSTALLED ON A NEW 2'-6" POLE WITH A NEW 2'-6" REINFORCED POURED CONCRETE FOUNDATION. REFER TO DETAILS REFER TO DETAILS 3/PHO1.1 & 4/PHO1.1.
- FIXTURE "B" (10) IS A NEW BOLLARD LOCATION w/ NEW FOOTING. THE BOLLARD IS TO BE INSTALLED ON A NEW 6'-6" REINFORCED POURED CONCRETE FOUNDATION. REFER TO DETAIL 2/PHO1.3.
- ALL PROPOSED FIXTURE HEADS ARE TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH ESMA FULL CUTOFF HOUSE SIDE SHIELDING WHERE REQUIRED. NEW PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) w/ BLACK FINISH AND OPTIONAL PHOTOCELL CONTROL.
- ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIN COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.
- ALL NEW PROPOSED AREA LIGHT POLES SHALL BE LOCATED 3'-0" FROM BACK OF CURB TO THE EDGE OR FACE OF THE REINFORCED LIGHT POLE BASE UNLESS NOTED OTHERWISE.
- INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SIGNAGE LIGHTING CONTROL AND WIRING.
- CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTION AND DETAIL FOR FURTHER INFORMATION.
- PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENONS) ARE TO HAVE A BLACK FINISH w/ OPTIONAL PHOTOCELL CONTROL.
- ALL EXTERIOR FIXTURES, BOTH BUILDING MOUNTED AND POLE FIXTURES SHALL BE DESIGNED AND INSTALLED SUCH THAT THE LIGHT EMITTED FROM THE LUMINAIRE AT AN ANGLE OF 90 DEGREES FROM VERTICAL (OR MORE) AND NO LIGHT SHALL TRESPASS ACROSS PARCEL BOUNDARIES INTO ADJACENT LOTS, BUILDINGS OR STREETS IN EXCESS OF 0.5 FOOT CANDLE OR GREATER.
- ALL BUILDING MOUNTED LIGHT FIXTURES ARE TO BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS FOR EXACT MOUNTING HEIGHTS AND LOCATIONS.
- FOR PURPOSES OF CALCULATING THE SITE POLE LIGHTING AND PHOTOMETRIC OUTPUT LUMINAIRE WERE PLACED AT 22'-0" ABOVE FINISHED FLOOR ELEVATION AND ALL BUILDING MOUNTED FLOOD LIGHTS COORDINATED WITH THE ARCHITECTURAL ELEVATIONS AND PLACED AT HEIGHTS SPECIFIED ON THE BUILDING ELEVATIONS.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENT AND ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMP/LED'S AND OTHER MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMP/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS, CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOTLINE

WISCONSIN STATUTE (182.075) (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF PARTICIPANTS UNDERGROUND FACILITIES COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK

811
Know what's below. Call before you dig.

PHOTOMETRIC PLAN GENERAL NOTES

- BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
- THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
- IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATION.
- ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIN COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

EXISTING CONDITIONS GENERAL NOTES

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.
- VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMMUNICATION AND ACCESS PANELS FOR ALL UTILITIES AND ALL ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE ITEMS.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.

HEAVY DUTY
Aluminum Shade
with Glass and Guard Options

Ordering #: _____
Project: _____
Date: _____
Type: _____
Notes: _____

Part / Wall Mount Order Matrix (Example 2017/18)

Part	Mount Type	Finish	Lead Volume
217	Single Post Mount	AB (Anodized Clear)	12.5' (3.75m)
218	Double Post Mount	AB (Anodized Clear)	25.0' (7.62m)

Part Type Order Matrix (Example 2018/19)

Part Type	Finish	Lead
PS1000	AB (Anodized Clear)	10.0' (3.05m)
PS1001	AB (Anodized Clear)	10.0' (3.05m)

Standard Finishes

AB (Anodized Clear)	BB (Black)
BB (Black)	SS (Silver)
SS (Silver)	TT (Titanium)
TT (Titanium)	UU (Ultra White)
UU (Ultra White)	VV (Vibrant White)

Specialty Finishes

GA (Gloss White)	HA (High Gloss)
IA (Imperial)	JA (Jade)

Notes: All items include standard warranty.

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HEAVY DUTY
Aluminum Shade
with Glass and Guard Options

Ordering #: _____
Project: _____
Date: _____
Type: _____
Notes: _____

Glass Enclosure

- Glass is available in clear (CG) and frosted (FG)

Cost Guard with Glass Enclosure

- Cost guard can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified (Note: For galvanized shade finishes, cost guard is unfinished Plain Aluminum)
- Glass is available in clear (CG) and frosted (FG)

View Cage with Glass Enclosure

- View cage can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified (Note: For galvanized shade finishes, view cage is finished in Painted Natural Aluminum)
- Glass is available in clear (CG) and frosted (FG)

View Cage (30%)

- View cage can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified (Note: For galvanized shade finishes, view cage is finished in Painted Natural Aluminum)

Notes: All items include standard warranty.

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HEAVY DUTY
Aluminum Shade
with Glass and Guard Options

Ordering #: _____
Project: _____
Date: _____
Type: _____
Notes: _____

Part / Wall Mount Order Matrix (Example 2017/18)

Part	Mount Type	Finish	Lead Volume
217	Single Post Mount	AB (Anodized Clear)	12.5' (3.75m)
218	Double Post Mount	AB (Anodized Clear)	25.0' (7.62m)

Part Type Order Matrix (Example 2018/19)

Part Type	Finish	Lead
PS1000	AB (Anodized Clear)	10.0' (3.05m)
PS1001	AB (Anodized Clear)	10.0' (3.05m)

Standard Finishes

AB (Anodized Clear)	BB (Black)
BB (Black)	SS (Silver)
SS (Silver)	TT (Titanium)
TT (Titanium)	UU (Ultra White)
UU (Ultra White)	VV (Vibrant White)

Specialty Finishes

GA (Gloss White)	HA (High Gloss)
IA (Imperial)	JA (Jade)

Notes: All items include standard warranty.

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HEAVY DUTY
Aluminum Shade
with Glass and Guard Options

Ordering #: _____
Project: _____
Date: _____
Type: _____
Notes: _____

Part / Wall Mount Order Matrix (Example 2017/18)

Part	Mount Type	Finish	Lead Volume
217	Single Post Mount	AB (Anodized Clear)	12.5' (3.75m)
218	Double Post Mount	AB (Anodized Clear)	25.0' (7.62m)

Part Type Order Matrix (Example 2018/19)

Part Type	Finish	Lead
PS1000	AB (Anodized Clear)	10.0' (3.05m)
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Standard Finishes

AB (Anodized Clear)	BB (Black)
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TT (Titanium)	UU (Ultra White)
UU (Ultra White)	VV (Vibrant White)

Specialty Finishes

GA (Gloss White)	HA (High Gloss)
IA (Imperial)	JA (Jade)

Notes: All items include standard warranty.

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HEAVY DUTY
Aluminum Shade
with Glass and Guard Options

Ordering #: _____
Project: _____
Date: _____
Type: _____
Notes: _____

Part / Wall Mount Order Matrix (Example 2017/18)

Part	Mount Type	Finish	Lead Volume
217	Single Post Mount	AB (Anodized Clear)	12.5' (3.75m)
218	Double Post Mount	AB (Anodized Clear)	25.0' (7.62m)

Part Type Order Matrix (Example 2018/19)

Part Type	Finish	Lead
PS1000	AB (Anodized Clear)	10.0' (3.05m)
PS1001	AB (Anodized Clear)	10.0' (3.05m)

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AB (Anodized Clear)	BB (Black)
BB (Black)	SS (Silver)
SS (Silver)	TT (Titanium)
TT (Titanium)	UU (Ultra White)
UU (Ultra White)	VV (Vibrant White)

Specialty Finishes

GA (Gloss White)	HA (High Gloss)
IA (Imperial)	JA (Jade)

Notes: All items include standard warranty.

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Project:
SHOREWEST REALTORS - NB
3885 S. Moorland Rd.
New Berlin, WI 53151

Issuance and Revisions:

Date	Number	Description
06/17/25		Pre Application Meeting Review
06/27/25		Plan Commission Submittal

1 TROY LIGHTING RLM SHEPARDS HOOK WALL PACK LUMINAIRE

HEAVY DUTY
Aluminum Shade
with Glass and Guard Options

Ordering #: _____
Project: _____
Date: _____
Type: _____
Notes: _____

Part / Wall Mount Order Matrix (Example 2017/18)

Part	Mount Type	Finish	Lead Volume
217	Single Post Mount	AB (Anodized Clear)	12.5' (3.75m)
218	Double Post Mount	AB (Anodized Clear)	25.0' (7.62m)

Part Type Order Matrix (Example 2018/19)

Part Type	Finish	Lead
PS1000	AB (Anodized Clear)	10.0' (3.05m)
PS1001	AB (Anodized Clear)	10.0' (3.05m)

Standard Finishes

AB (Anodized Clear)	BB (Black)
BB (Black)	SS (Silver)
SS (Silver)	TT (Titanium)
TT (Titanium)	UU (Ultra White)
UU (Ultra White)	VV (Vibrant White)

Specialty Finishes

GA (Gloss White)	HA (High Gloss)
IA (Imperial)	JA (Jade)

Notes: All items include standard warranty.

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1 TROY LIGHTING RLM SHEPARDS HOOK CONTINUED

EVOLVE
ECLS Soffit
LED Canopy Light

CUSTOMER NAME: _____
PROJECT NAME: _____
DATE: _____ TYPE: _____
CATALOG NUMBER: _____

The Evolve® Canopy LED Soffit (ECLS) offers energy efficiency and quality of light in a sleek, low-profile look and style. The ECLS features a diffused aperture which spreads the source lumens for even light distribution and low glare. To be used for soffit deck applications only (recessed canopy or soffit).

Construction

- Housing: Aluminum die cast enclosure. Integral heat sink for maximum heat transfer.
- Lens: Impact resistant tempered glass.
- Paint: Corrosion resistant polyester powder paint, minimum 2.0 mil thickness. Standard: Black, Dark Bronze Gray, White (RAL & custom colors available).
- Weight: 13 lbs (4.5 kg) - 12.5 lbs (3.7 kg)

Optical System

- Lumens: 3000 - 7000
- Distribution: Symmetric Medium
- Efficacy: 100 - 100 LPW
- CCT: 3000K, 4000K, 5000K
- CRI: 90

Electrical

- Input Voltage: 120-277V @ 50/60Hz
- Input Frequency: 50/60Hz
- Power Factor: >90% at rated watts
- Total Harmonic Distortion: <20% at rated watts
- Surge Protection: Standard Surge 6kV/20kA

Lumen Maintenance

Projected Lx per sq ft M-21-11 at _____

LUMEN CODE	3000K	4000K	5000K
10	102	30	0.99
20	101	30	0.98
25	103	30	0.97

Optical System

WARRANT TIME (yr)	3000K	4000K	5000K
10	102	30	0.99
20	101	30	0.98
25	103	30	0.97

Operating

- Temperature: -40°C to 50°C
- Vibration: 100 g per IEC 60068-2-27
- LM79: Testing in accordance with IESNA Standards

Controls

- Dimming: Standard - 0-10V
- Sensors: Motion with Integrated Photoelectric control, Occupancy Compatible

Warranty: 5 Year (Standard)

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2 GE EVOLVE ECLS SERIES CANOPY/SOFFIT LUMINAIRES

EVOLVE
ECLS Soffit
LED Canopy Light

CUSTOMER NAME: _____
PROJECT NAME: _____
DATE: _____ TYPE: _____
CATALOG NUMBER: _____

Ordering Information

ECLS 01 SM 7

PARAMETER	VALUE	OPTIC CODE	DESCRIPTION	CA	CT	CM	CONTROLS	INSTALL	COLOR	OPTIONS
01	120-277V	01	120-277V	01	01	01	01	01	01	01

For additional information on ECLS ECLS, please click the link below: [ECLS ECLS](#)

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EVOLVE
ECLS Soffit
LED Canopy Light

CUSTOMER NAME: _____
PROJECT NAME: _____
DATE: _____ TYPE: _____
CATALOG NUMBER: _____

ECLS - Symmetric Medium

7000 Lumens, 6000K
ECLS01_ECLS07_ECLS

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Sheet Title:
PROPOSED BUILDING MOUNTED LIGHT FIXTURES

Date of Drawing: 06/27/25
Scale: NONE
Drawn By: MCD
Job Number: L25-033
Sheet Number:

PHO1.2

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EVOLVE
EACL® Series
LED Area Light/Compact Low Wattage

CUSTOMER NAME _____
PROJECT NAME _____ TYPE _____
DATE _____ CATALOG NUMBER _____

EACL® Series
LED Area Light/Compact Low Wattage

Current's EACL Series of Area Light Luminaires offer a wide range of optical patterns, color temperatures, lumen packages, and mounting configurations to optimize area light applications, as well as provide versatility in lighting design within the same form factor.

Construction
Housing: Die-cast aluminum housing with integral heat sink for maximum heat transfer.
Paint: Standard - Black, Dark Bronze Gray, White. (RAL & custom colors available).
Weight: 10 lbs (4.5 kg) Max depending on configuration.

Optical System
Lumens: 2000 - 20400
Distribution: Asymmetric Forward Type IV, Asymmetric Narrow/AS Type II, Asymmetric Wide Type II
Efficacy: 123 - 143 LPW
CCT: 3000K, 4000K, 5000K

Electrical
Input Voltage: 120-277V & 347-480V
Input Frequency: 50/60Hz
Power Factor: > 90% at rated watts
Total Harmonic Distortion: < 20% at rated watts

Surge Protection*
Standard - 0-10V
Optional - DALI (Option 1)

Warranty
5 Year (Standard)

Lumen Maintenance
Projected Lx per EIES TM-21-11 at 25°C
LUMINOUS DEGRADATION: 25,000 HR L80, 50,000 HR L70, 60,000 HR L60

Luminaire Ambient Temperature Factor
LUMINOUS DEGRADATION: 25,000 HR L80, 50,000 HR L70, 60,000 HR L60

Operating Temperature: -40°C to 50°C
Vibration: 30g vibration per ANSI C83.1-2008
LM-79: Testing in accordance with IESNA Standards

Controls
Dimming: Standard - 0-10V, DALI (Option 1)
Sensors: Photo, Motion, Occupancy, Light, Sound, and Datalogger Compatible

Current LED.com Page 8 of 10

EVOLVE
EACL® Series
LED Area Light/Compact Low Wattage

CUSTOMER NAME _____
PROJECT NAME _____ TYPE _____
DATE _____ CATALOG NUMBER _____

Ordering Information

EACL 01 0 F4 AF 7 50 N D D1 GRAY

PROD ID	LEN	VOLUME	OPTIC CODE	DESCRIPTION	CR. CODE	CCT	LUMINOUS DEGRADATION	CONTROL	MOUNTING	COLOR	OPTIONS
01-01-01	14"	1400	01	Asymmetric Forward Type IV	01	5000K	25,000 HR L80	01	0-10V	GRAY	01
01-01-02	14"	1400	02	Asymmetric Forward Type IV	02	5000K	25,000 HR L80	02	0-10V	GRAY	02
01-01-03	14"	1400	03	Asymmetric Forward Type IV	03	5000K	25,000 HR L80	03	0-10V	GRAY	03

Current LED.com Page 9 of 10

EVOLVE
EACL® Series
LED Area Light/Compact Low Wattage

CUSTOMER NAME _____
PROJECT NAME _____ TYPE _____
DATE _____ CATALOG NUMBER _____

Ordering Information

OPTIC CODE	CR. CODE	CLASSIFICATION	TYPICAL LUMENS	TYPICAL SYSTEM WATTAGE	SHIELDING
BOOK	BOOK CODE	20-270V	347-480V	BOOK	BOOK CODE
01	01	TYPE IV	1400	1400	01
02	02	TYPE IV	1400	1400	02
03	03	TYPE IV	1400	1400	03

Current LED.com Page 9 of 10

EVOLVE
EACL® Series
LED Area Light/Compact Low Wattage

CUSTOMER NAME _____
PROJECT NAME _____ TYPE _____
DATE _____ CATALOG NUMBER _____

FE Accessories (To Be Order Separately)

SAP NUMBER	PART NUMBER	DESCRIPTION
900001	900001-01	Front Cutoff Shield
900002	900002-01	Left & Right Cutoff Shield
900003	900003-01	Backlight Control & B-U-G Improvement

Back Light Shield

Current LED.com Page 9 of 10

EVOLVE
EACL Series Luminaires
Shielding Specification & Ordering Guide

The next evolution of the **Evolve®** LED Area Light delivers even better trespass control. Current's exclusive reflective optical ring design produces superior vertical illuminance and efficiently directs the light without wasteful and unwelcome light spill into neighboring properties. Due to the extensive variation of parking lot configurations coupled with tightening ordinances, **Current now offers a full array of shielding to accommodate challenging sites.**

The shielding options available for the **Evolve®** Area Light focus on the following applications:

- Front Cutoff
- Left & Right Cutoff
- Backlight Control & B-U-G Improvement

Within each of the shielding families, there are multiple shielding cutoff levels that are categorized in mounting height (MH) increments. Current accommodates cutoff distance from the pole from 1.4M to 2.5 MH in 0.5 MH increments. The shields that are listed are for the most common applications. Please contact the manufacturer if your need is not listed.

All shields can be installed easily in the field. The next evolution of the **Evolve®** LED Area Light and shielding options will help you meet any parking lot challenge.

Current LED.com Page 9 of 10

1 GE EVOLVE EACL SERIES AREA LUMINARIES

2 GE EVOLVE EACL SERIES LUMINARIES SHIELDING

3 GE EVOLVE EACL SERIES LUMINARIES SHIELDING

EVOLVE
SSSE Series Poles
Square | Straight | Steel

Project Name _____ Type _____
Date _____ Notes _____

APPLICATIONS
Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location.

CONSTRUCTION
Shaft: One-piece straight steel with square cross section. Flat sides and minimum 0.23" radius on all corners. Minimum yield of 46,000 psi (315 TM-4500, Grade B). Longitudinal weld seam to taper. Flush with shaft side wall. Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36).
Base Cover: Two-piece square aluminum base cover included standard.
Pole Cap: Pole shaft supplied with removable cover when applicable. Tenon and post top configurations also available.
Hand Hole: Rectangular 3/8" steel hand hole frame (2.38" x 4.58" opening). Mounting provisions for grounding lug located behind gate cover.
Anchor Bolts: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling.
Anchor Bolt: 1/2" x 3/4" x 3" - TAB-36-1/32

FINISH
Durable thermoplastic powder coat paint finish with nominal 3.0 mil thickness.
Powder paint supplied over "white metal" steel substrate cleaned via mechanical shot blast method.
Decorative finish coat available in multiple standard colors. Custom colors available. RAL number preferable.

10 DAY - EVOLVE EXPRESS SHIP PROGRAM
Ships in 10 days
Limit of 15 poles

Current geosmart.com/evolve Page 1 of 8

EVOLVE
SSSE Series Poles
Square | Straight | Steel

Project Name _____ Type _____
Date _____ Notes _____

Ordering Information

Example: SSSE25-40A-2-E2-DKBRZ-UL

SSSE 20 40 B E2 GRAY

SHAFT	SHAFT	THICKNESS	MOUNTING	POLE FINISHING	FINISH	OPTIONS
SSSE 20	40	B	E2	GRAY	UL	

Current geosmart.com/evolve Page 2 of 8

EVOLVE
SSSE Series Poles
Square | Straight | Steel

Project Name _____ Type _____
Date _____ Notes _____

Ordering Information

CATALOG NUMBER	HEIGHT	DIAMETER	THICKNESS	FINISH	POLE FINISHING	FINISH	OPTIONS
SSSE 20	40	B	E2	GRAY	UL		

Current geosmart.com/evolve Page 3 of 8

LED SPEC GRADE BOLLARD (XHYP3)

LED LIGHTING SAFETY
Disrupts of safety has reduced representative product test data and results to illustrate risk to lighting safety program. Visit www.insite.com for specific safety program.

EMERGENCY ILLUMINATION: 160" or 180" distribution.
EMERGENCY OPTIONS: Integrate emergency battery back-up options are available. E2 optic operates in 60°C ambient temperature and C9000 operates in -20°C to 60°C ambient temperature. When arrays are powered failure occurs, back-up options battery backup in LEDs in upper ring operates for a minimum of 90 minutes and exceed NFPA-704 Life Safety Code requirements for means of egress lighting.

LOWER HOUSING: One-piece, heavy-walled, extruded aluminum, 3/32" thick for vertical resistance. Various heights are available in 6" increments starting at 30" (maximum height is 60"). Lower housing attaches to cast aluminum base plate with four stainless steel nut pins.

POLE ASSEMBLY: Pole in ground, heavy cast aluminum. For added support, optional vertical, cross-brace to lower housing with four cables, connected 1/2" x 20" Allen Head screws.

LENS: 2 one-piece heavy-walled borosilicate lenses are mounted 20" and protected by three cast ribs for vertical resistance. Egress pattern of top lens is only 3/8" tall with the lower lens being only 1/8" tall.

BASE PLATE: Extra thick, 1/2" cast 10 treated aluminum borosilicate corrosion coated and black powder coated for corrosion resistance.

OPTIONAL RODUCCER REINFORCEMENT: 3/32" thick zinc plated steel base plate with welded U shaped reinforcement. 3/32" diameter 302 stainless steel nut pins with 10,000 lb. shear load.

ANCHOR BOLTS: Anchor bolts are 3/8" x 10" long heavy duty galvanized steel. Four (4) are furnished.

ELECTRICAL: Universal without power supply (C90-27V 100W/0.27C), 34-480V also available. 36 in Ø diameter. Surge protector meets IEEE OAK 412-2002, Surges 1000 Joules (1000 J).

OPERATING TEMPERATURE: -40°C to +50°C/40°F to +125°F.

FINISH: Finishes are finished LSS Duraplast® polyester powder coat finishing process. The Duraplast finish withstands adverse weather although abrasion during painting.

WARRANTY: LSI LED fixtures carry a limited 5-year warranty.

PHOTOMETRICS: Please visit our web site at www.lsi-illumination.com for detailed photometric data.

SHIPPING WEIGHT: 60 lbs.
LEADING: Listed in U.S. and Canadian standards. Substitute for wet locations.

Current geosmart.com/evolve Page 4 of 8

LED SPEC GRADE BOLLARD (XHYP3)

PRODUCT ORDERING INFORMATION

Profile	Distribution	Height	Optic	Color	Temp	Input Voltage	Finish	Top	Options
XHYP360	160"	36"	C9000	60°C	120-277V	Black	3/32"	3/8"	3/8"

Current geosmart.com/evolve Page 5 of 8

4 GE EVOLVE SSSE SERIES POLES

5 LSI (XHYP3) LED BOLLAD

Project:
SHOREWEST REALTORS - NB

3885 S. Moorland Rd.
New Berlin, WI 53151

Issuance and Revisions:

Date	Number	Description
06/17/25		Pre Application Meeting Review
06/27/25		Plan Commission Submittal

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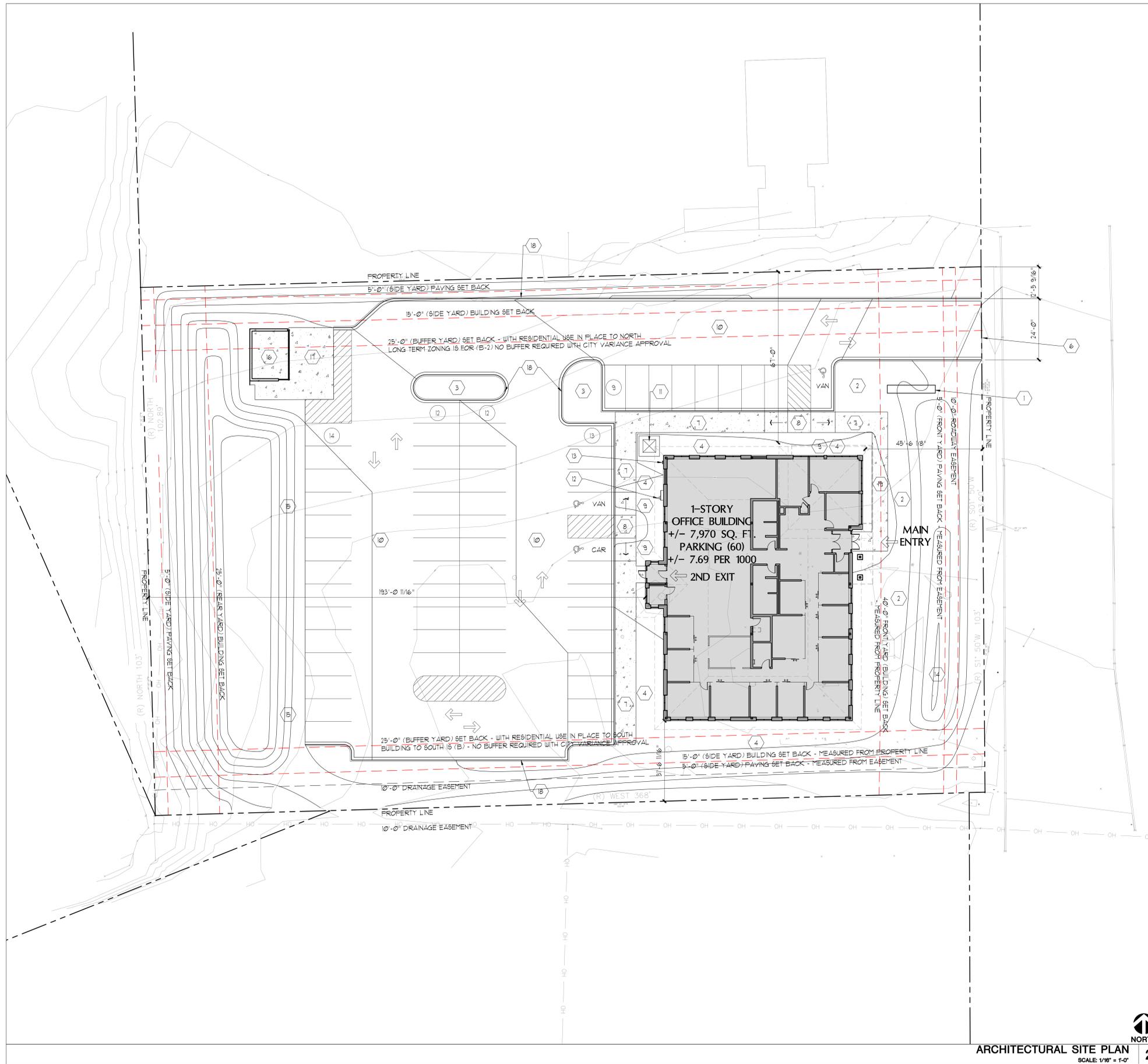
Sheet Title:
PROPOSED SITE AREA LIGHT FIXTURES

Date of Drawing: 06/27/25
Scale: NONE
Drawn By: MCD
Job Number: L25-033
Sheet Number:

PHO1.3

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L25-033 - SHOREWEST REALTORS - NB - 06/27/2025



TAX KEY: NEC 227984001
NEC 227983001

ZONING: B-2 (GENERAL RETAIL SALES AND SERVICE DISTRICT)

FRONT BUILDING SET BACK (MIN)	40'-0"
REAR BUILDING SET BACK (MIN)	25'-0"
SIDE BUILDING SET BACK (MIN)	15'-0"
PARKING LOT SET BACK (MIN)	5'-0"
BUILDING HEIGHT (MAX)	35'-0"
BUILDING AREA (MAX)	50% OF LOT
ACTUAL BUILDING AREA	13.75% OF LOT
IMPERVIOUS AREA (MAX)	75% OF LOT
ACTUAL IMP. AREA	35,850 SQ. FT. / 53.49% OF LOT
PARKING (MIN) (275-571-1)	1 PER 150 SQ. FT. = 55.88 SPACES
LOT AREA (MIN)	40,000 SQ. FT.
LOT AREA ACTUAL	67,071 SQ. FT. / 153 ACRES

- SITE PLAN KEYED NOTES**
- MONUMENT SIGN WITH SURROUNDING LANDSCAPE.
 - LANDSCAPE + TURF AREA. SEE LANDSCAPE PLANS FOR DETAILS.
 - LANDSCAPE ISLAND. SEE LANDSCAPE PLANS FOR DETAILS.
 - LANDSCAPE + STONE MULCH AREA. SEE LANDSCAPE PLANS FOR DETAILS.
 - LANDSCAPE + MULCH AREA. SEE LANDSCAPE PLANS FOR DETAILS.
 - 24'-0" WIDE DRIVE OPENING. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
 - 8'-0" WIDE CONCRETE SIDE WALK. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
 - 8'-0" WIDE DEPRESSED CONCRETE SIDE WALK WITH SLOPED WALK AT ADA ENTRY POINT FROM PARKING AREA TO SIDEWALK. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
 - ADA PARKING SPACE SIGN FOR BOTH CAR AND VAN PARKING. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
 - 24'-0" WIDE ASPHALT DRIVE AISLE. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
 - LOCATION OF TRANSFORMER. SEE SITE ELECTRICAL PLANS FOR ALL DETAILS.
 - LOCATION OF EXTERIOR WALL MOUNTED STAINLESS STEEL (CT) ELECTRICAL CABINET WITH METER. SEE SITE ELECTRICAL PLANS FOR ALL DETAILS.
 - LOCATION OF EXTERIOR WALL MOUNTED GAS METER. SEE SITE PLUMBING PLANS FOR ALL DETAILS.
 - DRY BASIN TO MEET MMSD CHAPTER 13 REQUIREMENTS WHICH WILL REQUIRE A SUMP THAT ADDRESSES THE DNR, MMSD, AND CITY OF NEW BERLIN STORMWATER REQUIREMENTS. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
 - SNOW STORAGE AREA. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
 - TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 - HEAVY DUTY RATED CONCRETE SLAB WITHIN TRASH ENCLOSURE AND AS AN APRON FOR THE GARBAGE TRUCK FORKS AND FRONT WHEEL BASE. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
 - CONCRETE CURB AND GUTTER TYPICAL. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
 - 6'-0" WIDE CONCRETE SIDE WALK. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.

ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0" **2**

NOTES
SCALE: N/A **1**

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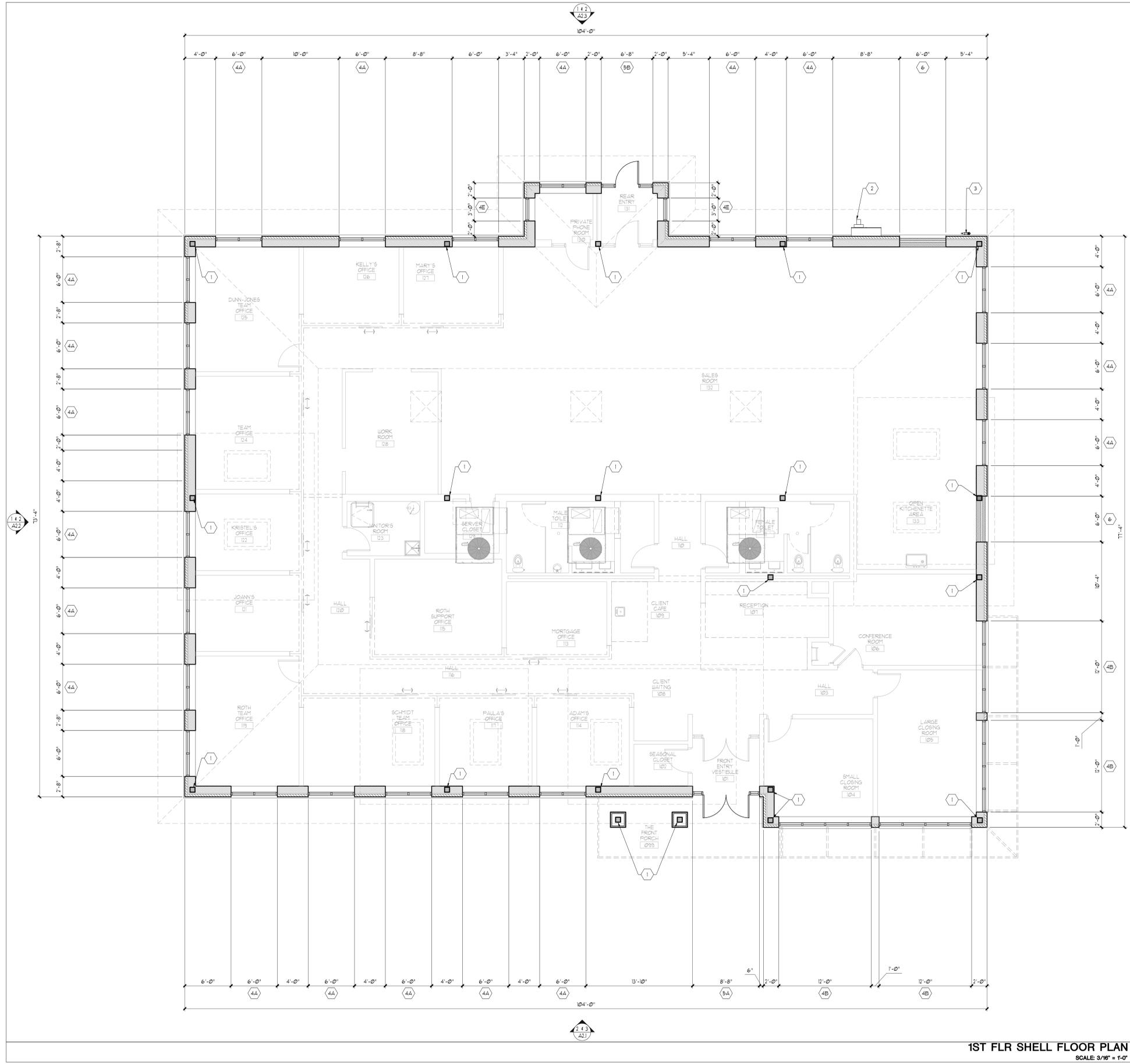
REV. #	REV. DATE	DESCRIPTION	REV. BY:	REV. DATE	DESCRIPTION	REV. BY:
1	06/17/25	PRE-APPLICATION MEETING	WHC			
2	06/27/25	PLAN COMMISSION SUBMISSION (06/13/25)	WHC			

Project:

New Building for:
Shorewest Realtors
3885 South Moorland Road
New Berlin, WI 53151

PERSPECTIVE DESIGN, INC.
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

DRAWING TITLE:	ARCHITECTURAL SITE PLAN
DATE:	06/27/25
SCALE:	AS NOTED
DRAWN:	WHC
JOB:	25-008
SHEET:	SP.11



1ST FLR SHELL FLOOR PLAN
SCALE: 3/16" = 1'-0"

- SHELL FLOOR PLAN KEYED NOTES**
- 1 STEEL COLUMN. SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
 - 2 LOCATION OF EXTERIOR WALL MOUNTED STAINLESS STEEL (CT) ELECTRICAL CABINET WITH METER. SEE SITE ELECTRICAL SUB-CONTRACTOR FOR ALL DETAILS.
 - 3 LOCATION OF EXTERIOR WALL MOUNTED GAS METER. SEE PLUMBING SUB-CONTRACTOR AND UE ENERGIES FOR ADDITIONAL DETAILS.
 - 4 PREFINISHED THERMAL BROKEN ALUMINUM STOREFRONT WINDOW SYSTEM. FINISH COLOR: DARK BRONZE. THIS IS SHOWN AS KAUNEER'S TRIFAB VERSA GLAZE 451/451T FRAMING SYSTEM. <https://www.kauneer.us/products/storefront-framing/>
 - A. SIZE 6'-0" WIDE x 6'-0" TALL
 - B. SIZE 12'-0" WIDE x 6'-0" TALL
 - C. SIZE 9'-0" WIDE x 2'-0" TALL
 - D. SIZE 24'-0" WIDE x 8'-0" TALL
 - E. SIZE 3'-0" WIDE x 6'-0" TALL
 - 5 PREFINISHED THERMAL BROKEN ALUMINUM STOREFRONT ENTRY DOOR SYSTEM WITH TRANSOM WINDOW AND SIDES LITES. DOOR SIZE 3'-0" WIDE x 7'-0" TALL.
 - (A) TOTAL COMPOSITE SIZE 8'-8" WIDE x 9'-0" TALL
 - (B) TOTAL COMPOSITE SIZE 6'-8" WIDE x 9'-0" TALL
 FINISH COLOR: DARK BRONZE. THIS IS SHOWN AS KAUNEER'S 5500 STANDARD ENTRANCE. <https://www.kauneer.us/products/doors-and-entrances/5500-standard-entrances/> DOOR HANDLES SHOWN AS 1-1/4" DIAMETER x 5'-0" TALL. FINISH COLOR: DARK BRONZE.
 - 6 BRICK VENEER 1/2" RECESS (FIELD IN BRICKED IN WINDOW AREA)

SHELL FLOOR PLAN NOTES
SCALE: N/A

NOT FOR CONSTRUCTION

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Project:		REV. #		REV. DATE		DESCRIPTION	
		06/17/25	PRE-APPLICATION MEETING	WHC			
		06/27/25	PLAN COMMISSION SUBMISSION (06/13/25)	WHC			
Project:		REV. #		REV. DATE		DESCRIPTION	
New Building for: Shorewest Realtors 3885 South Moorland Road New Berlin, WI 53151							
PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel: (414) 302-1780 Fax: (414) 302-1781		DRAWING TITLE:		THIS BOX IS 12" x 12"			
		1ST FLR SHELL FLOOR PLAN					
DATE: 06/27/25		SCALE: AS NOTED		DRAWN: WHC		JOB: 25-008	
				SHEET:			
				A1.1			



1ST FLR DIMENSIONED FLOOR PLAN
SCALE: 3/16" = 1'-0"

DIMENSIONED FLOOR PLAN KEYED NOTES

- 1 DEMOUNTABLE FULL GLASS WALL AND SLIDING DOOR SYSTEM (TYPICAL) AND SWING DOORS AS SHOWN. THIS IS THE TYPICAL WALL THAT SEPARATES THE HALL FROM THE PRIVATE OFFICES. REFER TO INTERIOR DESIGNER FOR ALL DETAILS.
- 2 FULL HEIGHT NON-LOAD BEARING INTERIOR PARTITION WALL, TYPICAL.
- 3 PARTIAL HEIGHT INTERIOR PARTITION WALL, TYPICAL.
- 4 WALL MOUNTED LADDER UP TO ROOF ACCESS HATCH AND THROUGH TO FLAT ROOF.
- 5 WALL MOUNTED LADDER UP TO CATWALK AND LIGHT HOUSE AREA.



DIMENSIONED FLOOR PLAN NOTES
SCALE: N/A

NOT FOR CONSTRUCTION

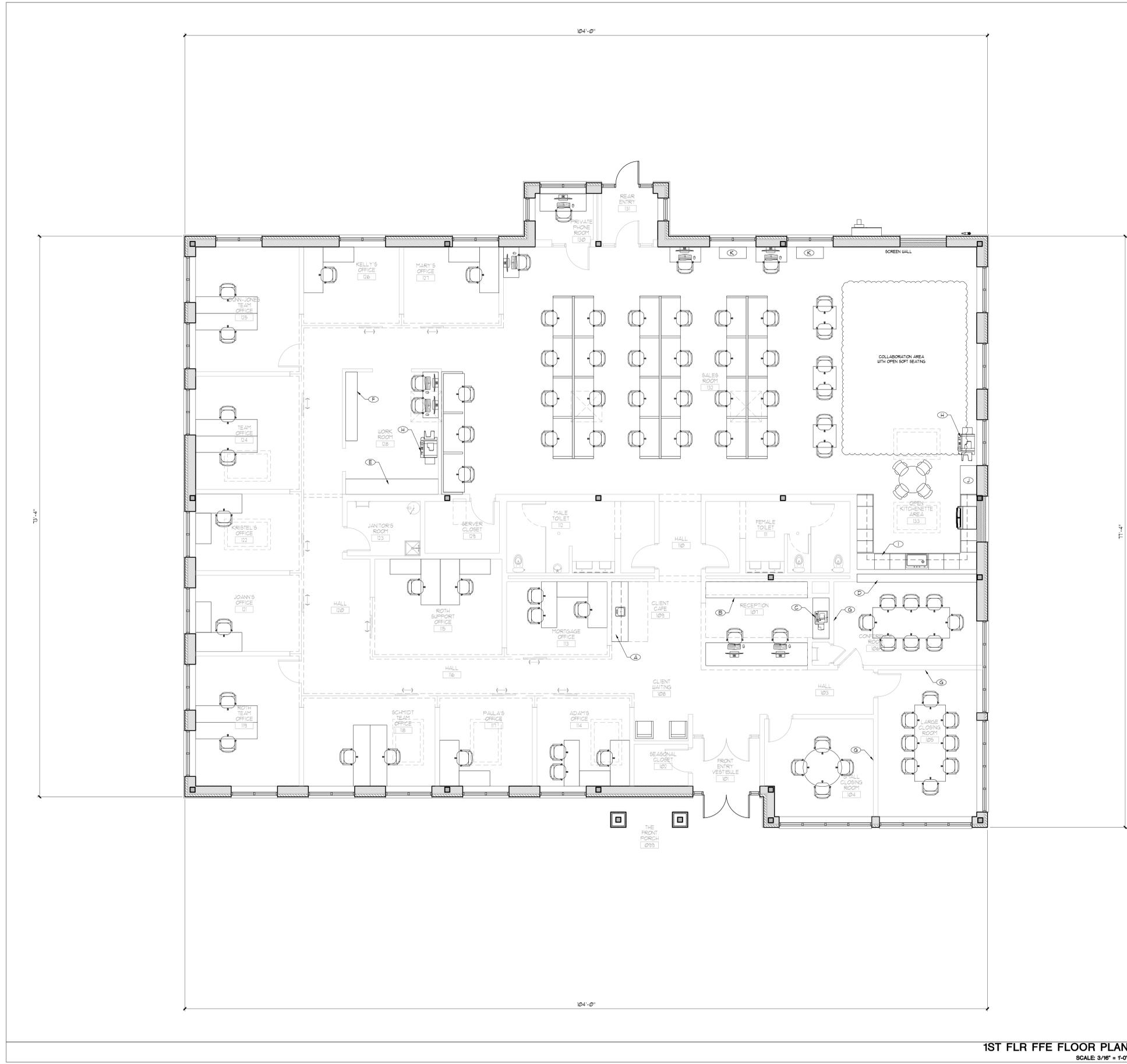
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DATE	06/27/25				
SCALE	AS NOTED				
DRAWN	WHC				
JOB	25-008				
SHEET					
DRAWING TITLE	1ST FLR DIMENSIONED FLOOR PLAN				
THIS BOX IS 12" x 12"					
Project:	New Building for: Shorewest Realtors 3885 South Moorland Road New Berlin, WI 53151				
REV. #	REV. DATE	DESCRIPTION	REV. BY:	REV. DATE	DESCRIPTION
-	06/17/25	PRE-APPLICATION MEETING	WHC		
-	06/27/25	PLAN COMMISSION SUBMISSION (06/13/25)	WHC		
A1.2					



- FURNITURE / EQUIPMENT PLAN NOTES:
- FURNITURE / EQUIPMENT PLAN PROVIDED FOR REFERENCE ONLY. VERIFY ALL FINAL SELECTIONS, LOCATIONS AND SERVICE REQUIREMENTS W/ EQUIPMENT SUPPLIER & OWNER.
 - ELECTRICIAN TO COORDINATE ELECTRICAL & LOW VOLTAGE NEEDS W/ EQUIPMENT SUPPLIER.
 - VERIFY W/ OWNER ANY SPECIAL EQUIPMENT INSTALLATION.
- EQUIPMENT TAGS:
- (A) COFFEE BAR / BEVERAGE BAR
BASE CABINET WITH COUNTER TOP & WALL CABINETS.
PROVIDE WET-BAR SINK.
PROVIDE RIO FOR COFFEE SYSTEM.
 - (B) BASE CABINET WITH COUNTER TOP AND WALL MOUNTED LOGO ABOVE.
 - (C) BASE CABINET WITH COUNTER TOP AND DESK TOP PRINTER.
 - (D) BASE CABINET WITH COUNTER TOP TO SERVE AS A BEVERAGE SHELF.
 - (E) BASE CABINET WITH COUNTER TOP TO SERVE AS THE BANDING STATION.
 - (F) MAIL BOXES.
 - (G) WALL MOUNTED FLAT SCREEN TV / SCREEN.
 - (H) PRINTER.
 - (I) KITCHENETTE WITH THE FOLLOWING:
BASE CABINETS WITH COUNTER TOP
WALL CABINETS
SINK & FAUCET
PROVIDE RIO FOR COFFEE SYSTEM AND REFRIGERATOR
REFRIGERATOR
ALL SHALL BE ADA COMPLIANT
PLEASE NOTE THERE IS NO
OVEN
RANGE TOP
DISHWASHER
 - (J) STORAGE CABINET FOR PRINTER SUPPLIES INCLUDING PAPER PRODUCTS.
 - (K) LATERAL FILE.
 - (L) SECURED LOCK BOXES (MILLWORK)
• OCCONOMOUC ONLY.
 - (M) BUILT-IN MANTEL WITH ELECTRO-FLAME FIREPLACE BELOW.
• OCCONOMOUC ONLY.
 - (N) MOBILE WORK STATION ISLAND - (MOVEABLE FURNITURE).
• OCCONOMOUC ONLY.
 - (O) WATER FALL ISLAND - (MILLWORK)
• OCCONOMOUC ONLY.

FFE FLOOR PLAN NOTES
SCALE: N/A

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DATE	06/27/25
SCALE	AS NOTED
DRAWN	WHC
JOB	25-008
SHEET	A13

REVISION	REV. #	REV. DATE	DESCRIPTION
	1	06/17/25	PRE-APPLICATION MEETING
	2	06/27/25	PLAN COMMISSION SUBMISSION (06/13/25)

REV. BY:	WHC
REV. BY:	WHC

Project:

New Building for:
Shorewest Realtors
 3885 South Moorland Road
 New Berlin, WI 53151

PERSPECTIVE DESIGN, INC.
 11525 W. North Avenue
 Wauwatosa, WI 53226
 Tel (414) 302-1780 Fax (414) 302-1781



1ST FLR REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

GENERAL ELECTRICAL NOTES:

- ALL ELECTRICAL WORK TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES AND STANDARDS. ELECTRICAL DEVICES SHOWN ARE A MINIMUM TO BE REQUIRED BY THE OWNER. ADDITIONAL DEVICES MAY BE REQUIRED BY GOVERNING CODES. ELECTRICAL CONTRACTOR TO PROVIDE ADDITIONAL ELECTRICAL SYSTEMS AS REQUIRED BY GOVERNING CODES.
- REFLECTED CEILING PLAN WITH LIGHTING LAYOUT IS FOR REFERENCE ONLY. ELECTRICAL ENGINEER/DESIGN BUILDER IS RESPONSIBLE TO FIELD VERIFY ALL EXISTING CONDITIONS. ELECTRICAL ENGINEER/DESIGNER TO PROVIDE FOR ALL REQUIRED DEVICES, DAYLIGHT CONTROLS, AND ACTUAL ENERGY CONSUMPTION OF THE DESIGN IN ORDER TO COMPLY WITH ALL GOVERNING CODES. LIGHTING DESIGNER IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN APPROVALS AND ON SITE INSPECTIONS.
- ELECTRICAL ENGINEER/DESIGN BUILDER TO PROVIDE CUT SHEETS OF RECOMMENDED MANUFACTURER & PLAN OF RECOMMENDED LOCATION OF LIGHT FIXTURES TO OWNER & ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- ELECTRICAL ENGINEER/DESIGN BUILDER TO PROVIDE DESIGN AND INSTALLATION FOR ANY REQUIRED EMERGENCY LIGHTING, EMERGENCY STAND BY POWER, SMOKE DETECTION AND FIRE ALARM SYSTEM PER ALL GOVERNING CODES, ORDINANCES AND STANDARDS. VERIFY W/ IBC FOR EMERGENCY LIGHTING REQUIREMENTS, CODE SECTION 908.3.5.
- ELECTRICAL CONTRACTOR TO COORDINATE SWITCHING SCHEDULE WITH TENANT TO ACCOMMODATE OWNER'S REQUIREMENTS.
- VERIFY WITH GENERAL CONTRACTOR SCOPE OF WORK FOR ADDITIONAL ELECTRICAL REQUIREMENTS (WALL HEATERS, EXHAUST FANS, EQUIPMENT CONNECTION, ETC.)
- ELECTRICAL ENGINEER/DESIGN BUILDER SHALL WORK WITH MECHANICAL CONTRACTOR FOR ELECTRICAL REQUIREMENTS.
- ELECTRICAL ENGINEER/DESIGN BUILDER SHALL WORK WITH OWNER'S SECURITY SYSTEM PROVIDER FOR ELECTRICAL REQUIREMENTS.
- ELECTRICAL ENGINEER/DESIGN BUILDER TO COORDINATE PHONE, DATA, CATV, SWITCH & RECEPTACLE LOCN W/ TENANT PRIOR TO INSTALLATION.
- DUPLEX RECEPTABLES, TELEPHONE/ DATA RECEPTABLES TO BE INSTALLED PER OWNER DIRECTION. ELECTRICAL OUTLETS TO BE INSTALLED 10'-0" O.C. AT ALL PERIMETER AND DEMISING WALLS BY LANDLORD.
- DO NOT SCALE THESE DRAWINGS.
- REVIEW ALL DRAWINGS INCLUDING DRAWING DIMENSIONS PRIOR TO BIDDING, FABRICATING OR CONSTRUCTING ANY WORK. ALL SUBCONTRACTORS TO RECEIVE COMPLETE SETS OF DRAWINGS FOR PROJECT.

REFLECTED CEILING PLAN NOTES:

- PROVIDE REQUIRED VENTILATION/EXHAUST FANS AS REQUIRED BY CODE (TOILET ROOMS, JANITOR CLOSET)
- REFER TO MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DOCUMENTS FOR FIXTURE TYPES & LOCATIONS (DESIGNED BY D/B SUBCONTRACTOR). GENERAL CONTRACTOR SHALL HOLD A COORDINATION MEETING BETWEEN THESE SUBS W/ OWNER'S REPRESENTATIVE.
- INSTALL HOLD DOWN CLIPS ON ALL CEILING TILES LOCATED IN VESTIBULES
- REFER TO HVAC PLANS FOR VARIOUS HVAC DUCT TYPES & LOCATIONS. LOUVER (GRILLS AND DIFFUSERS) LOCATIONS TO BE COORDINATED WITH HVAC CONTRACTOR. CUT SHEETS TO BE PROVIDED PRIOR TO INSTALLATION FOR OWNER APPROVAL.
- SEE ELEVATION FOR ADDITIONAL EXTERIOR FIXTURE LOCATIONS.
- PROVIDE A PER UNIT PRICE FOR ADDITIONAL FIXTURES AND RECEPTABLES THAT WILL BE ADDED DURING CONSTRUCTION.
- PROVIDE J-BOX FOR EXTERIOR SIGN LOCATIONS. VERIFY LOCATION W/ OWNER.
- PROVIDE TIMECLOCK FOR ALL EXTERIOR LIGHTING ON PHOTOCELLS.
- CEILING, SOFFIT WALLS AND BULKHEAD HEIGHTS SHALL BE AS LISTED BELOW
(A) TYPICAL OFFICE AREA + 10'-6"
(B) TOILET ROOM AREAS + 10'-0"
(C) BOTTOM OF FINISHED BULKHEAD AND SOFFIT WALLS, SHALL BE 6" BELOW THE CEILING THAT SURROUND IT.

REFLECTED CEILING SYMBOL LEGEND

2x1 LAY IN GRID WITH 1" 11" 3x2 5/8" ACOUSTICAL CEILING TILE
- SEE INTERIOR DESIGN GROUP FOR ALL SELECTIONS.

REFLECTED CEILING KEYED NOTES:

- ALL ITEMS ARE TYPICAL, UNLESS NOTED WITH A (*)
- ALL ITEM ARE ABOVE AND FOR GENERAL REFERENCE, WHEN NOTED WITH A (*)

- 1 SOFFIT WALL.
- 2 BULKHEAD.
- 3 SKYLIGHT.
- 4 GYP. BD. AND STEEL STUD FRAMED LIGHT WELL FROM DORMER SYSTEM ABOVE.
- 5 RTU SHOWN FOR GENERAL REFERENCE.
- 6 APPROXIMATE LOCATION OF PRIMARY AND SECONDARY ROOF DRAINS, SHOWN FOR GENERAL REFERENCE.
- 7 LINE OF SUN SHADE SYSTEM SHOWN FOR GENERAL REFERENCE.
- 8 LINE OF FLAT ROOF SYSTEM, SHOWN FOR GENERAL REFERENCE. THIS ROOF RUNS UNDER THE MAIN 1ST FLOOR ROOF SYSTEM.
- 9 LINE OF 1ST FLOOR ROOF SYSTEM, SHOWN FOR GENERAL REFERENCE.
- 10 LINE OF DORMER ROOF SYSTEM, SHOWN FOR GENERAL REFERENCE.
- 11 OPEN TO STRUCTURE / NO FINISHED CEILING IN THIS AREA / SPACE / VOLUME.

REFLECTED CEILING PLAN NOTES
SCALE: N/A

NOT FOR CONSTRUCTION

- PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY

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Project: _____

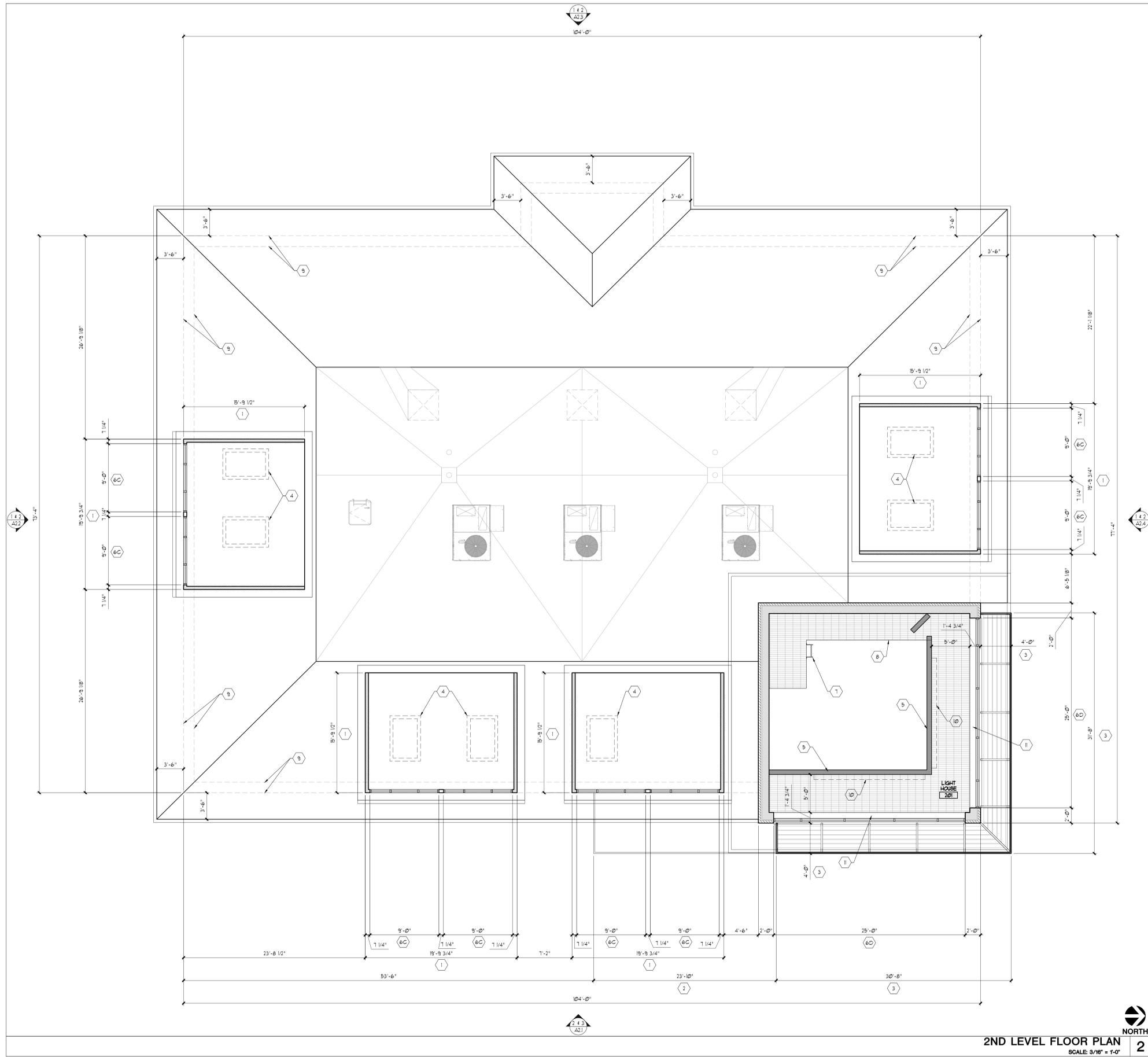
REV. #	REV. DATE	DESCRIPTION	REV. BY:	WHC	WHC
-	06/17/25	PRE-APPLICATION MEETING			
-	06/27/25	PLAN COMMISSION SUBMISSION (06/13/25)			

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 11525 W. North Avenue
 Wauwatosa, WI 53226
 Tel: (414) 302-1780 Fax: (414) 302-1781

DRAWING TITLE:	THIS BOX IS 12" x 12"
1ST FLR REFLECTED CEILING PLAN	
DATE:	06/27/25
SCALE:	AS NOTED
DRAWN:	WHC
JOB:	25-008
SHEET:	A1.4

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2ND LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0" **2**

2ND LEVEL FLOOR PLAN NOTES
SCALE: N/A **1**

DIMENSIONED FLOOR PLAN KEYED NOTES

- TRUE DORMER WITH INTERIOR LIGHTING. THE FRONT OF THE DORMER HAS WITH AZEK TRIM BOARDS 3-1/2". THE SIDE WALL TYPICALLY HAVE SIDING (SEE KEY NOTE 4 B) AND HAVE AZEK TRIM BOARDS (3-1/2"). TRIM BOARDS SHALL BE PAINTED DARK BRONZE. DORMER IS SHOWN WITH A 11/12 SLOPE.
- CANTILEVERED CANOPY WITH G-GUTTER, EXTRUDED DECK AND PERIMETER CONCEAL LIGHTING. SIZE: 16" TALL x AS DIMENSIONED AND EXTENDS 4'-0" FROM FACE OF BUILDING. FINISH COLOR: DARK BRONZE. MANUFACTURER: AMERICAN PRODUCTS, INC. <https://americanproducts.com/product/canopy-cantilevered-g-gutter-extruded-deck/> CONTACT NATHAN SHERMAN / (83) 925-0144 / nsherman@americanproducts.com
- CANTILEVERED SUNSHADE WITH HOLLOW BLADES AND PERIMETER CONCEAL LIGHTING. SIZE: 16-1/2" TALL x EXTENDS 4'-0" FROM FACE OF BUILDING. FINISH COLOR: DARK BRONZE. MANUFACTURER: AMERICAN PRODUCTS, INC. <https://americanproducts.com/product/sunshade-horizontals/> CONTACT NATHAN SHERMAN / (83) 925-0144 / nsherman@americanproducts.com
- LIGHT WELL FROM DORMER DOWN TO FIRST FLOOR.
- FULL HEIGHT NON-LOAD BEARING INTERIOR PARTITION WALL, TYPICAL.
- REFINISHED THERMAL BROKEN ALUMINUM STOREFRONT WINDOW SYSTEM. FINISH COLOR: DARK BRONZE. THIS IS SHOWN AS KAUNEER'S TRIFAB VERSA GLAZE 45145IT FRAMING SYSTEM. <https://www.kauneer.com/products/storefront-framing/>
A. SIZE 6'-0" WIDE x 6'-0" TALL
B. SIZE 15'-0" WIDE x 6'-0" TALL
C. SIZE 9'-0" WIDE x 2'-0" TALL
D. SIZE 25'-0" WIDE x 8'-8" TALL
E. SIZE 3'-0" WIDE x 6'-0" TALL
- WALL MOUNTED LADDER UP TO CATWALK AND LIGHT HOUSE AREA.
- BAT GRATE FLOOR / CAT WALK TO ACCESS LIGHT HOUSE FROM FIRST FLOOR LEVEL.
- LINE OF EXTERIOR WALL BELOW FOR GENERAL REFERENCE.
- WALL MOUNTED INTERNALLY ILLUMINATED SHOREWEST SIGN WITH LOGO.
- FLOOR MOUNTED CONTINUOUS LIGHT FIXTURES WITH AN UP/FORWARD THROW TO SOLID WALL PLANE. SEE LIGHTING DESIGNER FOR ALL DETAILS.

DO NOT SCALE THESE DRAWINGS

PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY

NOT FOR CONSTRUCTION

FULL SIZE PRINT = 30" x 42" SHEET

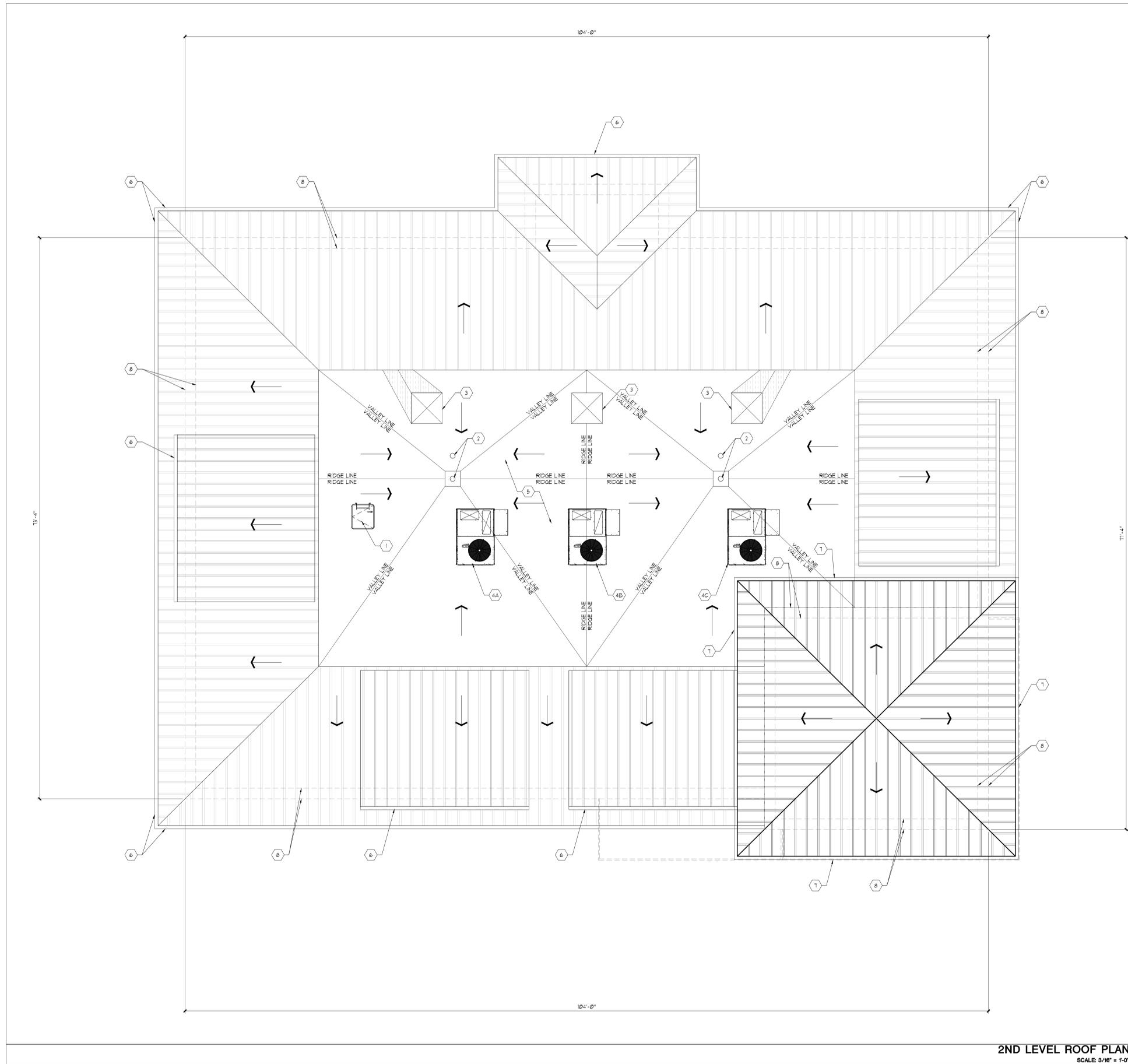
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REV. #	REV. DATE	DESCRIPTION	REV. BY:	WHC
-	06/17/25	PRE-APPLICATION MEETING	WHC	
-	06/27/25	PLAN COMMISSION SUBMISSION (06/13/25)	WHC	

Project: **Shorewest Realtors**
3885 South Moorland Road
New Berlin, WI 53151

PERSPECTIVE DESIGN, INC.
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

DRAWING TITLE:	2ND LEVEL FLOOR PLAN
THIS BOX IS 1/2" x 1/2"	
DATE:	06/27/25
SCALE:	AS NOTED
DRAWN:	WHC
JOB:	25-008
SHEET:	A15



2ND LEVEL ROOF PLAN
SCALE: 3/16" = 1'-0" **2**

GENERAL ROOF PLAN NOTES:

- SEE STRUCTURAL ROOF FRAMING PLAN AND DETAILS FOR ADDITIONAL ROOF NOTES. STRUCTURE SHALL BE DESIGNED TO WITHSTAND RAIN LOADS UP TO THE HEIGHT REQUIRED FOR EFFECTIVE SECONDARY DRAINAGE, AS WELL AS TO RESIST INCREASED PONDING LOADS DUE TO ROOF DEFLECTION. PLUMBING DESIGNER TO COORDINATE RAIN LOADS WITH STRUCTURAL FOR VERIFICATION OF CAPACITY.
- COORDINATE ALL ROOF EQUIPMENT SIZES AND PENETRATIONS W/ HVAC, ELECTRICAL, AND PLUMBING DESIGN/BUILDER. INSTALL EQUIPMENT FLUES AND VENTS AFTER INSTALLATION OF EQUIPMENT. ROOFING CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED ROOF PENETRATIONS, FLASHING, AND MATERIALS.
- CUT IN ALL VENTS, STACKS, ETC. AS REQUIRED FOR PLUMBING EQUIPMENT.
- LOCATE ALL ROOF PENETRATIONS AND EQUIPMENT TO PROVIDE THE BEST POSSIBLE SCREENING FROM STREET FRONTS.
- TAPER INSULATION CRICKETS AT HIGH SIDE OF ROOF TOP EQUIPMENT TO MAINTAIN WATER FLOW TO ROOF DRAINS. MIN. CRICKET PITCH 1/4" PER 12". VERIFY ROOF TOP EQUIPMENT QUANTITY & LOCATION WITH MECHANICAL CONTRACTOR.
- ALL MTL. FLASHING/COPING TO BE INSTALLED PER SMACNA STANDARDS.
- R.D. (ROOF DRAIN) & D.S. (DOWN SPOUT) W/ DEBRIS SCREENS TO STORM DRAINAGE SYSTEM OR GRADE. REFER TO CIVIL FOR FURTHER DETAILS.
- OWNER'S ROOFING CONTRACTOR SHALL PROVIDE ROOFING MEMBRANE TO ALLOW GC TO KEEP NEW CONSTRUCTION WEATHER TIGHT.
- ROOF ACCESS IS REQ. PER RISC AND IFC SECTION 306.5 ROOF STRUCTURE HEIGHT EXCEEDS 16'-0" & CONTAINS APPLIANCES REQUIRING ACCESS.
- SLOPE GUTTER TO DOWN SPOUT - 1/16" PER FOOT MIN.
- ICE AND WATER SHIELD TO BE INSTALLED AT LEAST TWO SHEET HIGH (48" MIN) ABOVE EAVES, EXTENDING A MIN. OF 24" FROM THE INSIDE FACE OF THE OUTSIDE WALL. INSTALL ICE AND WATER SHIELD AT VALLEYS, EAVES, AND DORMERS. INSTALL PER NPGA ROOFING AND WATER PROOFING MANUAL, LATEST EDITION.
- DO NOT SCALE THESE DRAWINGS.
- REVIEW ALL DRAWINGS INCLUDING DRAWING DIMENSIONS PRIOR TO BIDDING, FABRICATING OR CONSTRUCTING ANY WORK. ALL SUBCONTRACTORS TO RECEIVE COMPLETE SETS OF DRAWINGS FOR PROJECT.
- SLOPE LINES REPRESENT APPROXIMATE RIDGE AND VALLEYS OF ROOF SLOPE. EVEN WHEN STRUCTURE IS SLOPED, REDUCED OR ADDITIONAL TAPERED INSULATION MAY BE REQUIRED TO PROVIDE PROPER DRAINAGE AND PREVENT PONDING. CONFIRM INSULATION INSTALLED SUCH THAT MINIMUM R-VALUES ARE PROVIDED AS SPECIFIED FOR THE ROOF SURFACE OVER THE TOTAL AVERAGE OF THE ROOF. ALTHOUGH THERE MAY BE REDUCED NEAR THE DRAIN LOCATIONS SLOPE OF INSULATION SHALL NOT BE LESS THAN THE TYPICAL ROOF SLOPE UNLESS OTHERWISE NOTED BY THE MEMBRANE SUPPLIER.
- ALL STANDING SEAM METAL ROOF AREAS HAVE A STRUCTURAL SLOPE OF (4/12), UNLESS OTHERWISE NOTED.
- ALL DORMERS WITH A STANDING SEAM METAL ROOF FINISH HAVE A STRUCTURAL SLOPE OF (1/12).
- ALL FLAT ROOF AREAS HAVE A FLAT STRUCTURAL ROOF. THE SLOPE MUST BE CREATED BY ADDITIONAL RIGID ROOF INSULATION TO A MINIMUM 2% SLOPE.

HVAC NOTES:

- ROOF TOP EQUIPMENT TO BE PLACED ON 12" CURBS HIGHER THAN SECONDARY ROOF DRAIN TO PREVENT WATER DAMAGE TO EQUIPMENT AND LEAKING INTO BUILDING.
- PROVIDE VAV BOXES WITH SEPARATE THERMOSTATS FOR EACH OFFICE/CONFERENCE ROOM/CLOSING ROOM/OPEN OFFICE/WORK ROOMS.
- UNLESS OTHERWISE NOTED ON STRUCTURAL PLANS, MECHANICAL EQUIPMENT NOT SHOWN ON THESE DRAWINGS IS ASSUMED NOT TO HAVE BEEN DESIGNED TO BE ACCOMMODATED BY THE ROOF STRUCTURE. ANY ADDITIONAL MECHANICAL ITEMS ON (OR HUNG FROM) THE ROOF, SHALL BE COMMUNICATED TO THE ARCHITECT AND STRUCTURAL ENGINEER WITH THEIR OPERATING WEIGHTS AND LOCATIONS.

ROOF PLAN SYMBOL LEGEND:

→ SLOPE OF ROOF FROM HIGH POINT TO LOW POINT (GUTTER OR ROOF DRAIN).

ROOF PLAN KEYED NOTES:

- ROOF ACCESS HATCH. WALL MOUNTED WALL LADDER IS BELOW.
- PRIMARY AND SECONDARY ROOF DRAINS. SEE PLUMBING AND ROOF CONTRACTOR FOR ADDITIONAL DETAILS.
- 48" x 48" SKYLIGHT.
- ROOF TOP MOUNTED AIR CONDITIONING UNIT ON A 12" CURB. SEE HVAC AND ROOF CONTRACTOR FOR ADDITIONAL DETAILS.
RTU A
TOTAL WEIGHT WITH CURB +
RTU B
TOTAL WEIGHT WITH CURB +
RTU C
TOTAL WEIGHT WITH CURB +
- THIS ROOF AREA HAS STEEL JOISTS AND BEAMS THAT ARE FLAT. PROVIDE FLAT RIGID INSULATION THAT MEETS THE MINIMUM R-VALUE LISTED FOR THE ROOF ASSEMBLY, AND THEN ADD ADDITIONAL RIGID INSULATION THAT IS PROFILED TO SLOPE TOWARDS THE ROOF DRAINS.
- PRE-FINISHED SEAMLESS GUTTER AND DOWNSPOUT SYSTEM AS DESIGNER BY ROOF SUB-CONTRACTOR. THIS IS TYPICAL AT ALL ROOF AREAS WITH A STANDING SEAM METAL ROOF FINISH. DOWNSPOUT LOCATIONS MUST BE COORDINATED BY G.C., SITE PLUMBER, CIVIL DESIGNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- PRE-FINISHED SEAMLESS GUTTER AND DOWNSPOUT SYSTEM AS DESIGNER BY ROOF SUB-CONTRACTOR. DOWNSPOUTS SHALL DISCHARGE TO ROOF AREAS BELOW AND SHALL NOT EXTEND DOWN TO THE FIRST FLOOR LEVEL. DOWNSPOUT LOCATIONS MUST BE COORDINATED BY G.C., SITE PLUMBER, CIVIL DESIGNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- LINE OF EXTERIOR WALL BELOW FOR GENERAL REFERENCE.

DO NOT SCALE THESE DRAWINGS

2ND LEVEL ROOF PLAN NOTES
SCALE: N/A **1**

NOT FOR CONSTRUCTION

PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY

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Full size print = 30" x 42" sheet

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2ND LEVEL ROOF PLAN	
DATE:	06/27/25
SCALE:	AS NOTED
DRAWN:	WHC
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SHEET:	A16

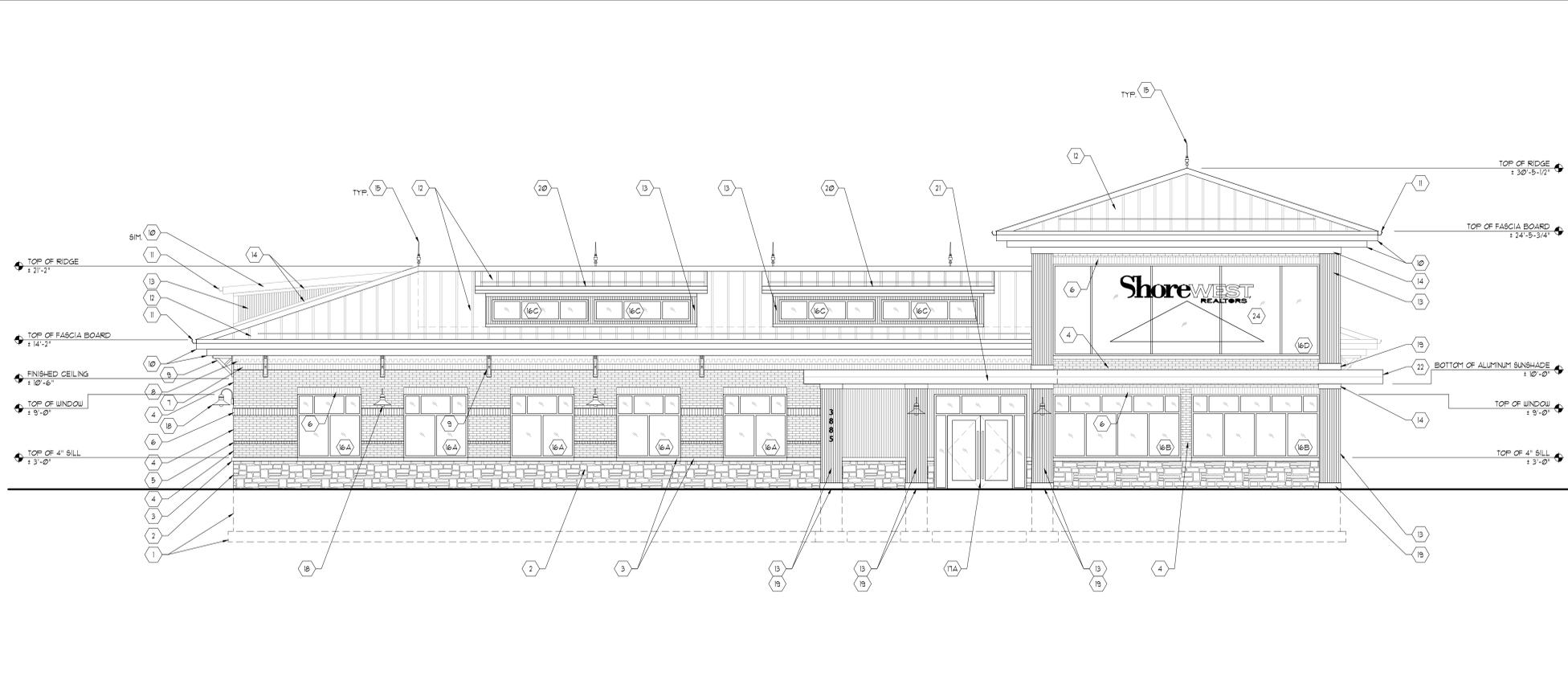


REFER TO (A22) FOR KEYED NOTES

EAST BUILDING ELEVATION WITH COLOR

SCALE 3/16" = 1'-0"

3



REFER TO (A22) FOR KEYED NOTES

EAST BUILDING ELEVATION WITH NOTES

SCALE 3/16" = 1'-0"

2

- ELEVATION NOTES:**
- ALL BUILDING SIGNAGE TO BE PROVIDED AND INSTALLED BY OWNER/TENANT. GC TO PROVIDE FIRE-TREATED PLYWOOD AT SIGNAGE LOCATION.
 - CONTR. JOINT LOCATIONS MAY NOT BE AS INCLUSIVE. IF MASON ENCOUNTERS A SITUATION WHERE A CJ SHOULD BE OMITTED OR ADDED, CONTACT ARCHITECT AND GC BEFORE MAKING ALTERATIONS.
 - ALL COLUMN FOUNDATIONS TO BE HELD ONE COURSE BELOW GRADE - SEE STRUCTURAL.
 - DO NOT SCALE THESE DRAWINGS.
 - REVIEW ALL DRAWINGS INCLUDING DRAWING DIMENSIONS PRIOR TO BIDDING, FABRICATING OR CONSTRUCTING ANY WORK. ALL SUBCONTRACTORS TO RECEIVE COMPLETE SETS OF DRAWINGS FOR PROJECT.
 - KEYED NOTES WITH A (1) INDICATES THAT THE MATERIAL IS BEYOND.
- FOUNDER IN PLACE STEEL REINFORCE INSULATED CONCRETE FOOTING AND FOUNDATION SYSTEM. SEE STRUCTURAL PLANS FOR ALL DETAILS.
 - 4" NATURAL STONE VENEER
MANUFACTURER: FOND DU LAC STONE
NAME: FRONTIER
SIZE: 4" DEEP X HEIGHT AND SHAPE VARIES
MORTAR COLOR: NATURAL GREY
<https://www.fonddulacstone.com/products/building-stone/dimensional-collection/frontier-dimensional/>
 - LIMESTONE SILL / WATER TABLE
SIZE: 4" TALL X DEPTH WILL VARY
COLOR: NATURAL GREY
MORTAR COLOR: NATURAL GREY
 - BRICK VENEER (FIELD)
MANUFACTURER: TRIANGLE BRICK
NAME: OLD COLONY
SIZE: MODULAR (2-1/4" TALL X 1-5/8" WIDE X 3-5/8" THICK)
FACE TEXTURE: SAND
COLOR: MIXED RED AND BROWN
BOND: RUNNING
MORTAR COLOR: NATURAL GREY
<https://www.trianglebrick.com/old-colony/>
 - BRICK VENEER BAND WITH 1/2" RECESS
MANUFACTURER: BROUWERSTONE
NAME: CORDOVAN (501)
SIZE: MODULAR (2-1/4" TALL X 1-5/8" WIDE X 3-5/8" THICK)
FACE TEXTURE: WIRE CUT
COLOR: BROWN
BOND: SAUTOOTH WITH WITH 1/2" RECESS
MORTAR COLOR: NATURAL GREY
<https://www.brouwerstone.com/product/501-cordovan-us/>
 - BRICK VENEER WITH 1" PROTRUSION (BAND)
MANUFACTURER: TRIANGLE BRICK
NAME: OLD COLONY
SIZE: MODULAR (2-1/4" TALL X 1-5/8" WIDE X 3-5/8" THICK)
FACE TEXTURE: SAND
COLOR: MIXED RED AND BROWN
BOND: SOLIDER COURSE BRICK BAND WITH 1" PROTRUSION
MORTAR COLOR: NATURAL GREY
<https://www.trianglebrick.com/old-colony/>
 - BRICK VENEER (BAND)
MANUFACTURER: BROUWERSTONE
NAME: CORDOVAN (501)
SIZE: MODULAR (2-1/4" TALL X 1-5/8" WIDE X 3-5/8" THICK)
FACE TEXTURE: WIRE CUT
COLOR: BROWN
BOND: SOLIDER COURSE
MORTAR COLOR: NATURAL GREY
<https://www.brouwerstone.com/product/501-cordovan-us/>
 - DENTIL MOLDING
MANUFACTURER: FLYCON
NAME: FLD331-16
SIZE: 9-1/2" TALL X 193-1/2" WIDE X 1-3/8" THICK
FINISH COLOR: DARK BRONZE (PAINT)
<https://gpc.com/products/331-16-flycon-303739436794/>
 - EXTERIOR DECORATIVE BRACKET
URETHANE SOLID OUTLOOKER, TRADITIONAL TOP AND BLOCK BACK, 3/4" SOLID BRACE, 1/4" X 2 1/2" FRENCH LAP BRACE, FRENCH TAN
OUTLOOKER SIZE: 24" HIGH X 24" DEEP
TOP CHORD: 3" WIDE X 3" THICK
BACK CHORD: 5" WIDE X 1-1/2" THICK
BRACE WIDTH: 7" WIDE
FRENCH LAP BRACE: 1" WIDE X 2" THICK
<https://www.orientaldecor.com/BUILDER-OUTLOOKER/>
FINISH COLOR: DARK BRONZE (PAINT)
 - PREFINISHED ALUMINUM WAFFLED FASCIA BOARDS
1-1/4" TALL PRIMARY FASCIA BOARD WITH STEPPED
1-1/4" TALL SECONDARY FASCIA BOARD BELOW
FINISH COLOR: DARK BRONZE
BRACE METAL ALUMINUM SHALL BE OF SUFFICIENT GAUGE AS TO AVOID "OIL GANNING".
PROVIDE BRACES IN FACE AS NEEDED TO AVOID "OIL GANNING".
 - PREFINISHED ALUMINUM SEAMLESS GUTTER SYSTEM WITH DOWNSPOUTS
FINISH COLOR: DARK BRONZE
SIZE: 5" STYLE (C)
FINAL DESIGN BY: ROOFING CONTRACTOR
 - PREFINISHED STANDING SEAM METAL ROOF WITH SNOW STOPS
THIS IS SHOWN AS AN 18" COBBLE-LOC.
FINISH COLOR: DARK BRONZE
FINAL DESIGN BY: ROOFING CONTRACTOR.
<https://www.rti.com/products/18-cobble-loc/>
 - NEW TECH WOOD EUROPEAN SIDING BELGIAN BOARD (MODEL U88) BRAZILIAN IPE STRAIGHT GRAN VERTICAL MOUNT.
<https://www.belgianboard.com/product/european-style-siding/>
 - 5-1/2" AZEK TRIM BOARD
FINISH COLOR: DARK BRONZE
<https://azek.com/>
 - 2" VICTORIA FIRE COPPER ROOFTOP FINIAL WITH ROOF MOUNT
<https://www.orientaldecor.com/GD742.html>
 - PREFINISHED THERMAL BROKEN ALUMINUM STOREFRONT WINDOW SYSTEM
FINISH COLOR: DARK BRONZE
THIS IS SHOWN AS KAUNEER'S TRIFAB VERSA GLAZE 45148181 FRAMING SYSTEM.
<https://www.kauneer.com/products/storefront-framing/>
A. SIZE 6'-0" WIDE X 6'-0" TALL
B. SIZE 0'-0" WIDE X 6'-0" TALL
C. SIZE 9'-0" WIDE X 2'-0" TALL
D. SIZE 25'-0" WIDE X 8'-8" TALL
E. SIZE 3'-0" WIDE X 6'-0" TALL
 - PREFINISHED THERMAL BROKEN ALUMINUM STOREFRONT ENTRY DOOR SYSTEM WITH TRANSLUCENT WINDOW AND SIGNS
DOOR SIZE 3'-0" WIDE X 7'-0" TALL
(A) TOTAL COMPOSITE SIZE 6'-8" WIDE X 9'-0" TALL
(B) TOTAL COMPOSITE SIZE 6'-8" WIDE X 9'-0" TALL
FINISH COLOR: DARK BRONZE
THIS IS SHOWN AS KAUNEER'S 800 STANDARD ENTRANCE
<https://www.kauneer.com/products/doors-and-entrances/800-350-500-standard-entrances/>
DOOR HANDLES SHOWN AS 1-1/4" DIAMETER X 9'-0" TALL
FINISH COLOR: DARK BRONZE
 - PREFINISHED 8" WALL MOUNTED BARN LIGHT
FINISH COLOR: DARK BRONZE
SIMILAR TO:
<https://www.hkleg.com/02181k1m1tqurjD:364749b35202a238408b>
<https://www.hkleg.com/02181k1m1tqurjD:364749b35202a238408b>
BOTTOM OF FIXTURE IS 8'-0" AFF.
 - 1-1/4" AZEK TRIM BOARD
FINISH COLOR: DARK BRONZE
<https://azek.com/>
 - TRUE DORMER WITH INTERIOR LIGHTING
THE FRONT OF THE DORMER HAS WITH AZEK TRIM BOARDS 5-1/2"
THE SIDE WALL TRIM SHALL HAVE BRIMS (SEE KEY NOTE (13)) AND HAVE AZEK TRIM BOARDS (3-1/2")
TRIM BOARDS SHALL BE PAINTED DARK BRONZE.
DORMER IS SHOWN WITH A 1/12 (1) SLOPE.
 - CANTILEVERED CANOPY WITH GUTTER EXTRUDED DECK AND PERIMETER CONCEAL LIGHTING
FINISH COLOR: DARK BRONZE
MANUFACTURER: AMERICAN PRODUCTS, INC.
<https://americanproducts.com/product/canopy-cantilevered-gutter-extruded-deck/>
CONTACT: NATHAN SHERMAN (800) 925-0144 | nsherman@americanproducts.com
 - CANTILEVERED SUNSHADE WITH HOLLOW BLADES AND PERIMETER CONCEAL LIGHTING
FINISH COLOR: DARK BRONZE
MANUFACTURER: AMERICAN PRODUCTS, INC.
<https://americanproducts.com/product/sunshade-horizontal/>
CONTACT: NATHAN SHERMAN (800) 925-0144 | nsherman@americanproducts.com
 - PREFINISHED THERMAL BROKEN WINDOW SYSTEM
FINISH COLOR: DARK BRONZE
THIS IS SHOWN AS KAUNEER'S CLEARWALL CURTAIN WALL SYSTEM
<https://www.kauneer.com/products/doors-and-entrances/800-350-500-standard-entrances/>
DOOR HANDLES SHOWN AS 1-1/4" DIAMETER X 9'-0" TALL
FINISH COLOR: DARK BRONZE
 - INTERIOR STEEL STUD AND GYP. BD. WALL SET BACK 5'-0" FROM INSIDE FACE OF PERIMETER WALL TO RECEIVE INTERIOR SIGNAGE SIGN AND LOGO. THE SHORTEST SIGN AND LOGO ARE INTERNALLY ILLUMINATED. ADDITIONALLY THERE IS UP AND DOWN LIGHTING SET AT THE FLOOR AND CEILING OF THIS VOLUME FOR DAY LIGHTING. SEE LIGHTING DESIGNER FOR ADDITIONAL DETAILS.
 - BRICK VENEER 1/2" RECESS (FIELD IN BROCKED IN WINDOW AREA)
MANUFACTURER: TRIANGLE BRICK
NAME: OLD COLONY
SIZE: MODULAR (2-1/4" TALL X 1-5/8" WIDE X 3-5/8" THICK)
FACE TEXTURE: SAND
COLOR: MIXED RED AND BROWN
BOND: SAUTOOTH WITH WITH 1/2" RECESS
MORTAR COLOR: NATURAL GREY
<https://www.trianglebrick.com/old-colony/>
 - LOCATION OF EXTERIOR WALL MOUNTED STAINLESS STEEL (CT) ELECTRICAL CABINET WITH PETER. SEE SITE ELECTRICAL SUB-CONTRACTOR FOR ALL DETAILS.
 - LOCATION OF EXTERIOR WALL MOUNTED GAS METER.
SEE PLUMBING SUB-CONTRACTOR AND WE ENERGIES FOR ADDITIONAL DETAILS.

BUILDING ELEVATION NOTES

SCALE: N/A

1

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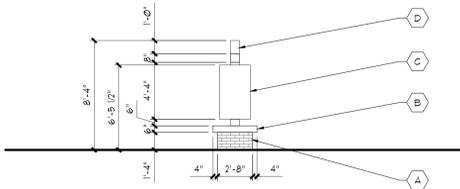
PERSPECTIVE DESIGN, INC.
 11525 W. North Avenue
 Wauwatosa, WI 53226
 Tel (414) 302-1780 Fax (414) 302-1781

DRAWING TITLE:	THIS BOX IS 1/2" X 1/2"
BUILDING ELEVATIONS	

DATE:	06/27/25
SCALE:	AS NOTED
DRAWN:	WHC
JOB:	25-008
SHEET:	A21

MONUMENT SIGN MATERIALS
 A. BRICK TO MATCH BUILDING.
 B. 6" FINISHED ALUMINUM METAL CAP - GRAY.
 C. INTERNALLY ILLUMINATED TWO SIDED SIGN BOX WITH LOGO AND NAME, WHITE AND RED.
 D. THE MEASURED SIGN AREA IS 132 SQ. FT.
 E. SIGN POST, WHITE.

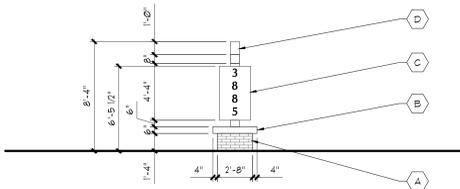
NOTE:
 FOUNDATION SYSTEM BY SIGN MANUFACTURER



WEST MONUMENT SIGN ELEVATION
 SCALE: 3/16" = 1'-0" **6**

MONUMENT SIGN MATERIALS
 A. BRICK TO MATCH BUILDING.
 B. 6" FINISHED ALUMINUM METAL CAP - GRAY.
 C. INTERNALLY ILLUMINATED TWO SIDED SIGN BOX WITH LOGO AND NAME, WHITE AND RED.
 D. THE MEASURED SIGN AREA IS 132 SQ. FT.
 E. SIGN POST, WHITE.

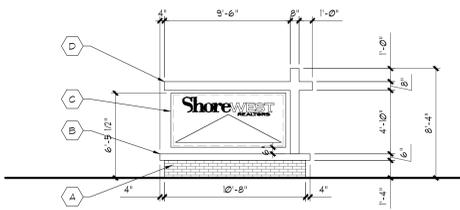
NOTE:
 FOUNDATION SYSTEM BY SIGN MANUFACTURER



EAST MONUMENT SIGN ELEVATION
 SCALE: 3/16" = 1'-0" **5**

MONUMENT SIGN MATERIALS
 A. BRICK TO MATCH BUILDING.
 B. 6" FINISHED ALUMINUM METAL CAP - GRAY.
 C. INTERNALLY ILLUMINATED TWO SIDED SIGN BOX WITH LOGO AND NAME, WHITE AND RED.
 D. THE MEASURED SIGN AREA IS 132 SQ. FT.
 E. SIGN POST, WHITE.

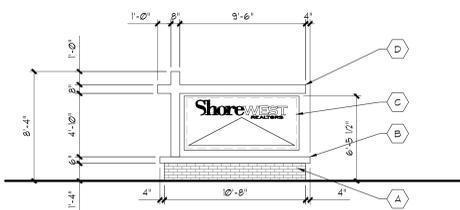
NOTE:
 FOUNDATION SYSTEM BY SIGN MANUFACTURER



NORTH MONUMENT SIGN ELEVATION
 SCALE: 3/16" = 1'-0" **4**

MONUMENT SIGN MATERIALS
 A. BRICK TO MATCH BUILDING.
 B. 6" FINISHED ALUMINUM METAL CAP - GRAY.
 C. INTERNALLY ILLUMINATED TWO SIDED SIGN BOX WITH LOGO AND NAME, WHITE AND RED.
 D. THE MEASURED SIGN AREA IS 132 SQ. FT.
 E. SIGN POST, WHITE.

NOTE:
 FOUNDATION SYSTEM BY SIGN MANUFACTURER

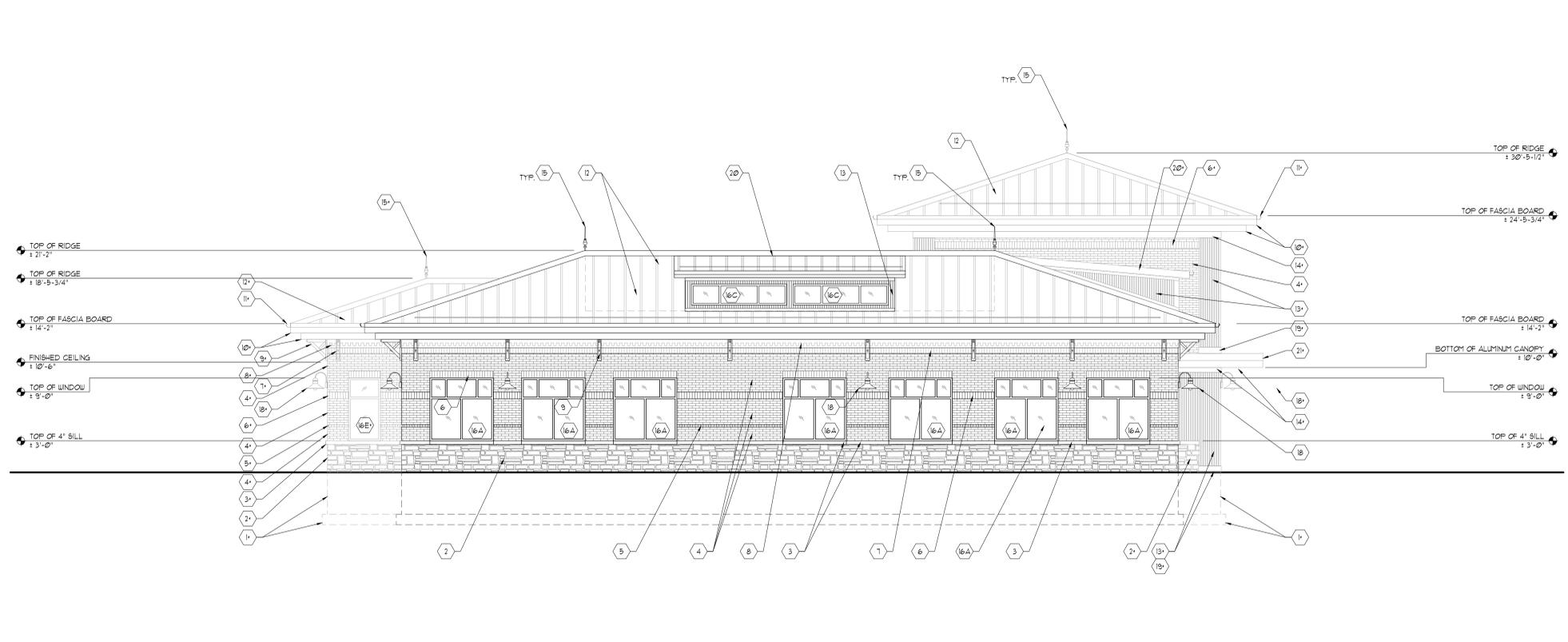


SOUTH MONUMENT SIGN ELEVATION
 SCALE: 3/16" = 1'-0" **3**



SOUTH BUILDING ELEVATION WITH COLOR
 SCALE: 3/16" = 1'-0" **2**

REFER TO (A22) FOR KEYED NOTES



SOUTH BUILDING ELEVATION WITH NOTES
 SCALE: 3/16" = 1'-0" **1**

REFER TO (A22) FOR KEYED NOTES

NOT FOR CONSTRUCTION

PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY

DO NOT SCALE THESE DRAWINGS

REV. #	REV. DATE	DESCRIPTION
1	06/17/25	PRE-APPLICATION MEETING
2	06/27/25	PLAN COMMISSION SUBMISSION (09/13/25)

Project:

New Building for:
Shorewest Realtors
 3885 South Moorland Road
 New Berlin, WI 53151

PERSPECTIVE DESIGN, INC.
 11525 W. North Avenue
 Wauwatosa, WI 53226
 Tel: (414) 302-1780 Fax: (414) 302-1781



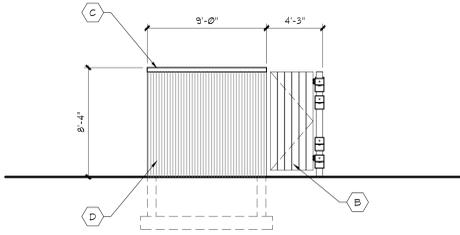
DRAWING TITLE: THIS BOX IS 1/2" x 1/2"

BUILDING ELEVATIONS

DATE: 06/27/25
 SCALE: AS NOTED
 DRAWN: WHC
 JOB: 25-008
 SHEET:

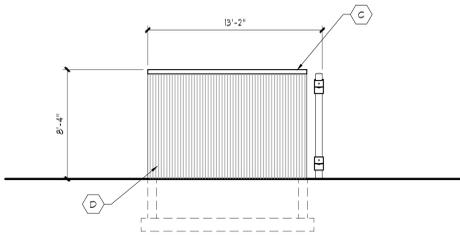
A2.2

TRASH ENCLOSURE MATERIALS
 A. GALVANIZED STEEL AND PAINTED GATE POST, DARK BROWN
 B. 5/4 EXTERIOR GRADE DECK BOARDS AND GALVANIZED STEEL AND PAINTED GATE FRAME, DARK BROWN.
 C. PREFINISHED ALUMINUM WALL CAP, DARK BROWN.
 D. WALL SIDING TO MATCH BUILDING, BROWN.



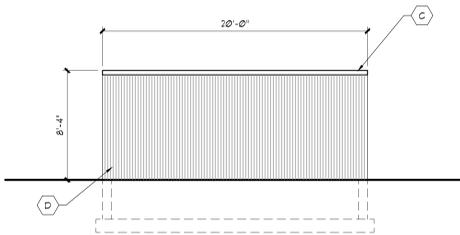
SOUTH TRASH ENCLOSURE ELEVATION 6
 SCALE: 3/16" = 1'-0"

TRASH ENCLOSURE MATERIALS
 A. GALVANIZED STEEL AND PAINTED GATE POST, DARK BROWN
 B. 5/4 EXTERIOR GRADE DECK BOARDS AND GALVANIZED STEEL AND PAINTED GATE FRAME, DARK BROWN.
 C. PREFINISHED ALUMINUM WALL CAP, DARK BROWN.
 D. WALL SIDING TO MATCH BUILDING, BROWN.



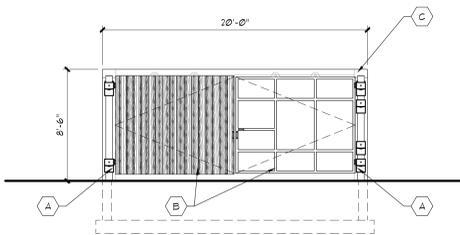
NORTH TRASH ENCLOSURE ELEVATION 5
 SCALE: 3/16" = 1'-0"

TRASH ENCLOSURE MATERIALS
 A. GALVANIZED STEEL AND PAINTED GATE POST, DARK BROWN
 B. 5/4 EXTERIOR GRADE DECK BOARDS AND GALVANIZED STEEL AND PAINTED GATE FRAME, DARK BROWN.
 C. PREFINISHED ALUMINUM WALL CAP, DARK BROWN.
 D. WALL SIDING TO MATCH BUILDING, BROWN.



WEST TRASH ENCLOSURE ELEVATION 4
 SCALE: 3/16" = 1'-0"

TRASH ENCLOSURE MATERIALS
 A. GALVANIZED STEEL AND PAINTED GATE POST, DARK BROWN
 B. 5/4 EXTERIOR GRADE DECK BOARDS AND GALVANIZED STEEL AND PAINTED GATE FRAME, DARK BROWN.
 C. PREFINISHED ALUMINUM WALL CAP, DARK BROWN.
 D. WALL SIDING TO MATCH BUILDING, BROWN.

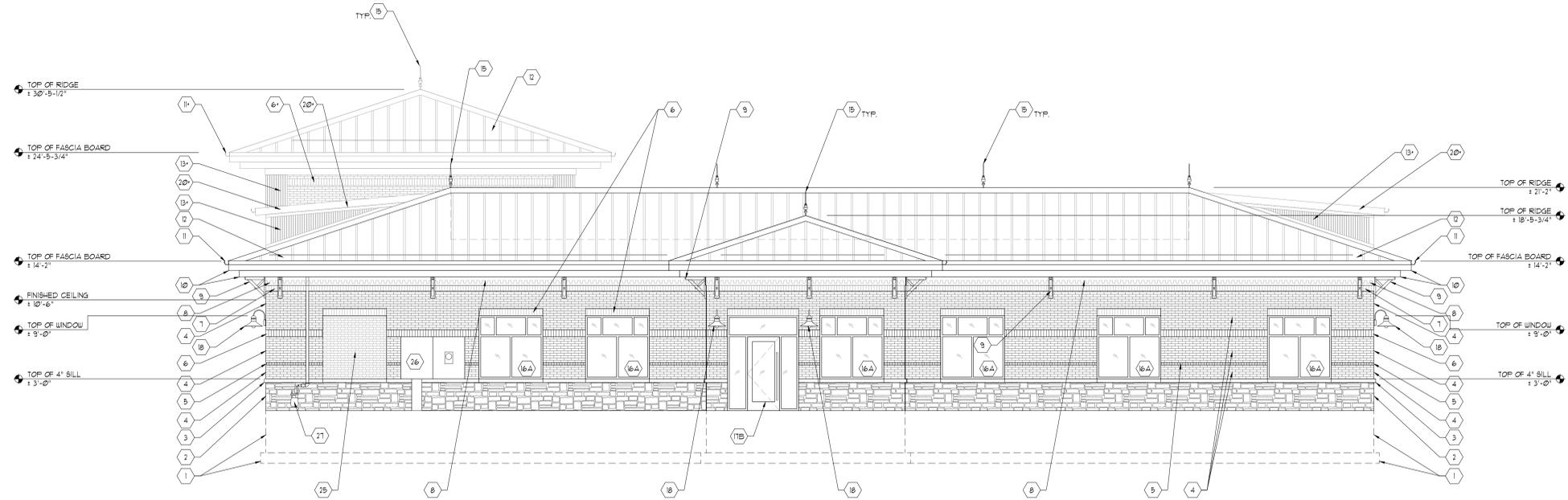


EAST TRASH ENCLOSURE ELEVATION 3
 SCALE: 3/16" = 1'-0"



WEST BUILDING ELEVATION WITH COLOR 2
 SCALE: 3/16" = 1'-0"

REFER TO (A21) FOR KEYED NOTES



WEST BUILDING ELEVATION WITH NOTES 1
 SCALE: 3/16" = 1'-0"

REFER TO (A21) FOR KEYED NOTES

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REV. #	REV. DATE	DESCRIPTION	REV. BY:	WHC
-	06/17/25	PRE-APPLICATION MEETING	WHC	
-	06/27/25	PLAN COMMISSION SUBMISSION (06/13/25)	WHC	

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BUILDING ELEVATIONS

DATE: 06/27/25
 SCALE: AS NOTED
 DRAWN: WHC
 JOB: 25-008
 SHEET:

A2.3

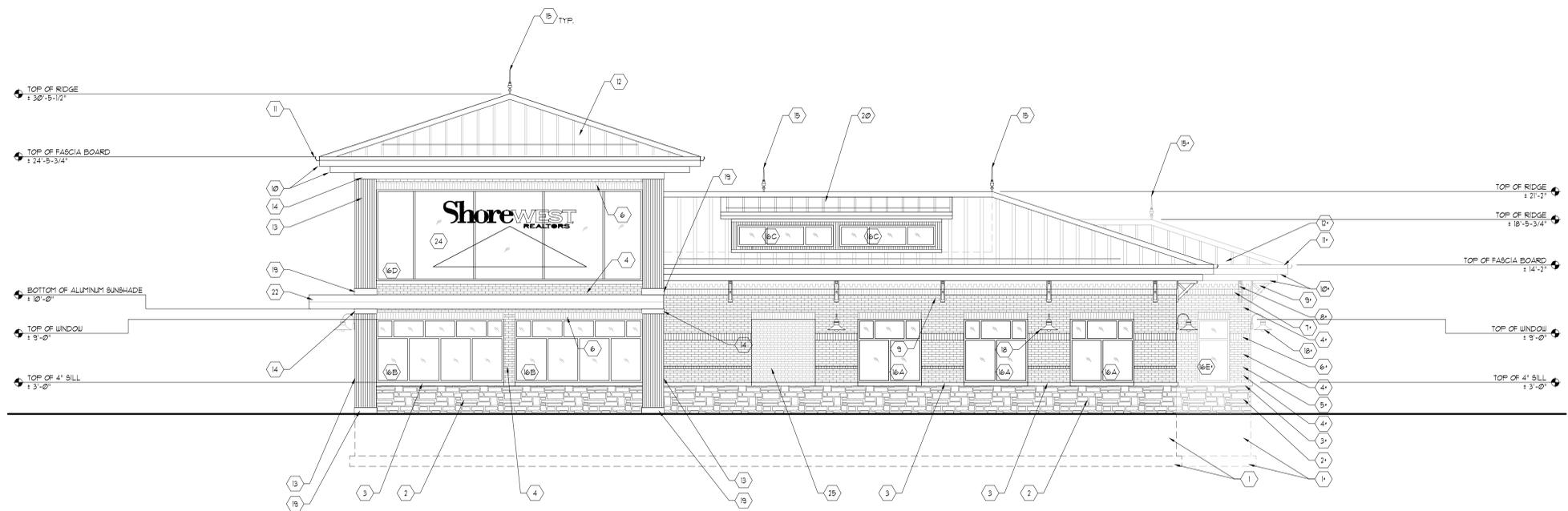


REFER TO (A21) FOR KEYED NOTES

NORTH BUILDING ELEVATION WITH COLOR

SCALE: 3/16" = 1'-0"

2



REFER TO (A21) FOR KEYED NOTES

NORTH BUILDING ELEVATION WITH NOTES

SCALE: 3/16" = 1'-0"

1

NOT USED
SCALE: N/A

3

NOT FOR CONSTRUCTION

PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY

DO NOT SCALE THESE DRAWINGS

FILE SIZE: 49101 x 39" x 48" SHEET

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REV. #	REV. DATE	DESCRIPTION	REV. BY:	REV. DATE	DESCRIPTION
-	06/17/25	PRE-APPLICATION MEETING	WHC		
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BUILDING ELEVATIONS	
DATE:	06/27/25
SCALE:	AS NOTED
DRAWN:	WHC
JOB:	25-008
SHEET:	
A2.4	